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	MAXIMUM AVAILABLE FAULT CURRENT	DEFERRED SUBMITTAL

FOR CONSTRUCTION

PROPOSED A NEW SHOWROOM BUILDING CROSSWAY AUTO CENTER

1860 N. EARL RUDDER FRWY. BLD. 1
BRYAN TX, 77808

Any changes to the plans during construction need to be approved by the architect and/or engineer of record and the City. The changes will need to be submitted as an amended set of construction documents. See Section 107.4 of the 2021 IBC.

Contact Information	Contact Information
Diego Lamaccia - Engineer Ph#: 713-548-6126	Miguel Alvarado - Designer Ph#: 832-4663126 miguel.agllc@live.com



ALVARADO GROUP, LLC

7015 W. TIDWELL RD. SUITE G110
Houston, Tx 77092

CODE ANALYSIS
PROPOSED NEW SHOWROOM - 2,903 SQ.FT.

Located at:
1860 N. EARL RUDDER FRWY.
BRYAN TX, 77808

APPLICABLE CODES (including, but not limited to)
2021 International Building Code (IBC).
2021 International Mechanical Code (IMC)
2021 International Plumbing Code (IPC)
2020 National Electrical Code (NEC)
2018 IECC or ASHRAE 90.1-2007
2021 International Fire Code (IFC)
Texas Accessibility Code for Building Construction, January 1994 Edition
2012 TAS and Bryan's Amendments to the adopted code.

1. OCCUPANCY Type (IBC 311.3, p.37)
GROUP - B (SHOW ROOM)

OCCUPANT LOAD (IBC Table 1004.1.2 p. 195)
16 O.L.

2. PHYSICAL PROPERTIES OF BUILDING

1860 N. EARL RUDDER FRWY. BLD. 1
BRYAN TX, 77808

3. MINIMUM PLUMBING FACILITIES

4. CONSTRUCTION TYPE

Type 5B
Max area 9,500 s.f. (Table 503 p. 74)
Max stories 2 (Table 503 p. 1-74)
Exterior bearing wall construction 0 Hr (Table 601, p. 83)
Interior bearing wall construction 0 Hr (Table 601, p. 83)
Exterior non-bearing wall construction 0 Hr (Table 601, p. 83)
Structural frame construction 0 Hr (Table 601, p. 83)
Permanent partitions construction 0 Hr (Table 601, p. 83)
Shaft enclosure construction 0 Hr (Table 601, p. 83)
Floor and floor-ceiling construction 0 Hr (Table 601, p. 83)
Roofs and roof-ceiling construction 0 Hr (Table 601, p. 83)
Fire-Resistance for exterior Walls Greater than 5'-0" Apart 1 Hr (Table 602, p. 83)

5. SPRINKLER SYSTEM NOT REQUIRED

GENERAL NOTES

1. THE GENERAL CONTRACTOR (G.C.) SHALL CAREFULLY EXAMINE THE SITE AND SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS WITHIN THE SCOPE OF THIS WORK. DATA IN THESE SPECIFICATIONS AND ON THE DRAWINGS ARE AS ACCURATE AS POSSIBLE, BUT ARE NOT GUARANTEED. THE G.C. SHALL VERIFY LOCATIONS, LEVELS, DISTANCES, AND FEATURES OF THE SITE AND RELATED IMPROVEMENTS THAT MAY AFFECT THE WORK. BY ACT OF SUBMITTING A BID, THE G.C. IS DEEMED TO HAVE MADE SUCH EXAMINATION AND TO HAVE EXAMINED ALL ARCHITECTURAL, MECHANICAL, STRUCTURAL AND ELECTRICAL DRAWINGS, AND TO HAVE MADE ALLOWANCE THEREOF IN PREPARING HIS BID. NO EXTRA CHARGES WILL BE CONSIDERED FOR COSTS RESULTING FROM FAILURE TO COMPLY WITH THE ABOVE.

2. PROPOSALS TAKE INTO ACCOUNT ALL SUCH CONDITIONS AS MAY AFFECT CONTRACT WORK.

3. DETAILS DRAWINGS AND INSTRUCTIONS"

A. if work is required in a manner that makes it impossible to produce first class work, or discrepancies appear among contractual documents, request interpretation before proceeding with work. If G.C. fails to make such a request, no excuse will thereafter be entertained for failure to carry out work in a satisfactory manner.

B. Should conflict occur in our between drawings or specifications, G.C. is deemed to have estimated on more expensive way of doing work, unless he shall have asked for an obtained written decision before submission of proposal as to which method or materials will be required. G.C. shall inform architect immediately if such conflict between drawings or specifications occurs.

7. CONNECTIONS:
ALL ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICES. G.C. IS RESPONSIBLE FOR PROVIDING THEM ACCORDING TO THESE CONDITIONS. DRAWINGS SHOW ONLY SPECIAL REQUIREMENTS TO ASSIST G.C.; THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.

8. GENERAL CONDITIONS:
G.C. SHALL COMPLY WITH THE AIA GENERAL CONDITIONS LATEST EDITION.

9. SIGNS; PER LANDLORD AND CODE

10. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE ADEQUACY, AND SAFETY OF ERECTION BRACING AND TEMPORARY SUPPORTS, ETC. STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.

11. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, LOCATIONS OF NEW FRAMING MEMBERS, LINES OF SUPPORT LOCATIONS OF ANCHOR BOLTS, HOLD DOWNS, EXISTING SITE CONDITIONS AND UTILITIES PRIOR TO ORDERING MATERIALS.

12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION, DEMOLITION, MEANS AND METHODS ON THE PROJECT, THE OWNER AND HIS CONSULTANTS SHALL NOT BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY OR NEGLIGENT ACTS OR OMISSIONS BY THE GENERAL CONTRACTOR OR THE SUBCONTRACTORS OF THE JOB.

13. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, AS REQUIRED BY CODE, ARE TESTED BY INDEPENDENT LABORATORIES AND THAT RESULTS ARE FURNISHED TO LOCAL BUILDING AND PROJECT CONSULTANTS.

14. ANY CHANGES TO THE DESIGN, AFTER ISSUANCE TO A BUILDING PERMIT, SHALL BE SUBMITTED TO THE PRESIDING BUILDING AGENCY FOR APPROVAL BY THE GENERAL CONTRACTOR.

15. DOCUMENTS MARKED "BID DOCUMENTS" SHALL NOT BE USED FOR CONSTRUCTION.

16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE SUPPLIERS FOR THE MATERIALS REPRESENTED BY SHOP DRAWINGS.

17. INSTALL ADDRESS NUMBERS PER CITY AND EMS REQUIREMENTS.

18. CONTRACTOR TO OBTAIN INDIVIDUAL TRADE PERMITS.

19. PROVIDE FIRE TREATED BLOCKING OR AS REQUIRED BY THE LOCAL CODE OFFICIAL.

20. CONNECT WATER, GAS AND ELECTRIC LINES TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES. DURING CONSTRUCTION, SITE MUST HAVE TEMPORARY WATER SERVICE WITH BACKFLOW PREVENTOR.

21. DURING CONSTRUCTION, SITE MUST REMAIN CLEAN WITH GARBAGE DUMPSTER & TEMPORARY TOILET FACILITIES FAILURE TO DO SO MAY RESULT IN TEMPORARY SUSPENSION OF WORK UNTIL VIOLATIONS ARE CORRECTED.

22. THE ARCHITECT IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR OTHER JOB SITE CONDITIONS.

23. ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED CONNECTED, ERECTED, USED, CLEANED ETC. IN ACCORDANCE WITH INDUSTRY STANDARDS. THE MANUFACTURER'S RECOMMENDATION AND IN ACCORDANCE WITH PUBLISHED.

24. THE GENERAL CONTRACTORS SHALL PROVIDE NECESSARY SUPERVISION TO COMPLETE THE WORK IN ACCORDANCE WITH THE DRAWINGS AND TRUE MEANING AND INTENT OF THESE SPECIFICATIONS EVEN THOUGH SUCH MENTION OF ARTICLES, MATERIALS, OPERATION, METHODS, QUALITY, QUALIFICATION OR CONDITIONS IS NOT EXPRESSED IN COMPLETE SENTENCES.

25. WHERE DEVICES OR ITEMS OR PARTS THEREOF ARE REFERRED TO IN SINGULAR, IT IS INTENDED THAT SUCH A REFERENCE SHALL APPLY TO AS MANY SUCH DEVICES, ITEMS OR PARTS AS ARE REQUIRED TO PROPERTY COMPLETE THE WORK.

26. SCHEDULES OF WORK INCLUDED IN THESE SPECIFICATIONS ARE GIVEN FOR CONVENIENCE AND SHALL NOT BE CONSIDERED AS A COMPREHENSIVE LIST OF ITEMS NECESSARY TO COMPLETE THE WORK AS DESCRIBED AND SPECIFIED.

27. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK COVERED HEREAFTER DESCRIBED WITH THE WORK OF OTHERS INVOLVED IN THE PROJECT. THE NECESSARY INFORMATION AND THE ITEMS, MATERIALS, EQUIPMENT, ETC. SHALL BE DELIVERED WHEN REQUIRED IN ORDER TO PREVENT DELAY IN THE PROGRESS AND COMPLETION OF WORK.

28. THE GENERAL CONTRACTOR SHALL SUBMIT A SCHEDULE OF PROCEDURE TO THE OWNER FOR APPROVAL.

29. CITY APPROVED DRAWINGS SHALL BE KEPT IN A DRAWINGS BOX AND SHALL NOT BE USED BY WORKMEN. CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE GENERAL CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF DRAWINGS WITH THE REVISION, ADDENDA, AND CHANGE ORDERS, ON THE PREMISES AND ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT, THE GENERAL CONTRACTOR MUST TURN THIS DRAWING SET OVER TO THE OWNER AT THE COMPLETION OF THIS JOB.

30. VERIFY AND CONFORM TO REQUIREMENTS OF UTILITY COMPANIES UNLESS OTHERWISE NOTED IN THE DRAWINGS AND SPECIFICATIONS WHENEVER MATERIALS, EQUIPMENT OR SYSTEMS ARE SPECIFIED OR INDICATED BY PROPRIETARY NAME OR MANUFACTURER, THE MATERIALS, EQUIPMENT SYSTEMS SO SPECIFIED OR INDICATED SHALL BE DEEMED TO BE FOLLOWED BY THE WORDS "OR EQUAL" EXCEPT IN THOSE CASES WHERE ITEMS SPECIFIED BY NAME ARE MARKED "NO SUBSTITUTE" THE SUBCONTRACTOR MAY AT THIS OPTION SUBMIT FOR A DIFFERENT MANUFACTURER AS SPECIFIED AND SUCH MUST BE REQUESTED IN THE GENERAL CONTRACTOR'S APPROVAL, EQUIPMENT, MATERIALS OR SYSTEMS OF WRITING TO GENERAL CONTRACTOR A MINIMUM OF FIVE (5) WORKING DAYS PRIOR TO NECESSARY APPROVAL DATE. NO SUBSTITUTIONS SHALL BE PERMITTED UNLESS THE APPROVAL IS GRANTED.

31. THE SUBCONTRACTOR SHALL PROVIDE EVIDENCE OF QUALIFICATION TO THE GENERAL CONTRACTOR AND SHALL EMPLOY ONLY SKILLED, QUALIFIED PERSONNEL ON THE JOB.

32. WORK IS TO BE DONE IN THE BEST WORKMANLIKE MANNER AND SHALL HAVE TO MEET WITH THE APPROVAL OF THE OWNER AND GENERAL CONTRACTOR.

33. WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION UNLESS OTHERWISE SPECIFIED, AND SHALL BE SO STATED IN SUBCONTRACTOR'S WRITTEN PROPOSAL AND AGREEMENT REPAIRS CORRECTIONS, DISCREPANCIES ETC. MUST BE MADE WITHOUT ADDITIONAL COST TO THE OWNER, AND WITHIN FIVE (5) DAYS AFTER NOTICE IS GIVEN.

34. GENERAL CONTRACTORS SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE BUILDING AND SITE WHILE JOB IS IN PROGRESS AND UNTIL JOB IS COMPLETE.

35. DEBRIS SHALL BE REMOVED FROM THE PREMISES AND THE PREMISE SHALL BE KEPT IN A CLEAN (BROOM) CONDITION.

36. GENERAL CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS.

37. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN SUBCONTRACTOR SHALL NOTIFY GENERAL CONTRACTOR/OWNER IMMEDIATELY OF DISCREPANCIES.

38. ITEMS MARKED "N.I.C." ARE NOT PART OF THIS CONTRACT, ITEMS NOTED AS OWNER SUPPLIED AND SUBCONTRACTOR INSTALLED SHALL BE SUPPLIED BY THE OWNER BUT WILL BE INSTALLED BY THE SUBCONTRACTOR

39. WORK SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST RECOMMENDATIONS OR WRITTEN DIRECTIONS.

PARKING LOT ANALYSIS BLD. 1

A. PROPOSED SHOWROOM
 Square feet = 2,903 Sq.Ft.
 1 SPACE FOR EVERY 400 SQUARE FEET OF ENCLOSED SPACE, AND
 1 FOR EVERY 2000 SQUARE FEET OF OUTSIDE DISPLAY AREA
 REQUIRED PARKING SPACE = 2,903/400 = 7 PARKING SPACES
 2,903 / 400 = 7 SPACES
 DISPLAY AREA = 4,000 SQ.FT OF DISPLAY AREA = 2 PARKING SPACES

2. NUMBER OF PARKING SPACES PROPOSED: 9
 AS PER TABLE 1106.1
 ACCESSIBLE PARKING SPACES

BUILDING # 1 = 2,903 SQ.FT.
 BUILDING # 2 = 11,880 SQ.FT.
 PARKING LDT = 47,149 SQ.FT.
 TOTAL IMPERVIOUS COVER = 61,932 SQ.FT.

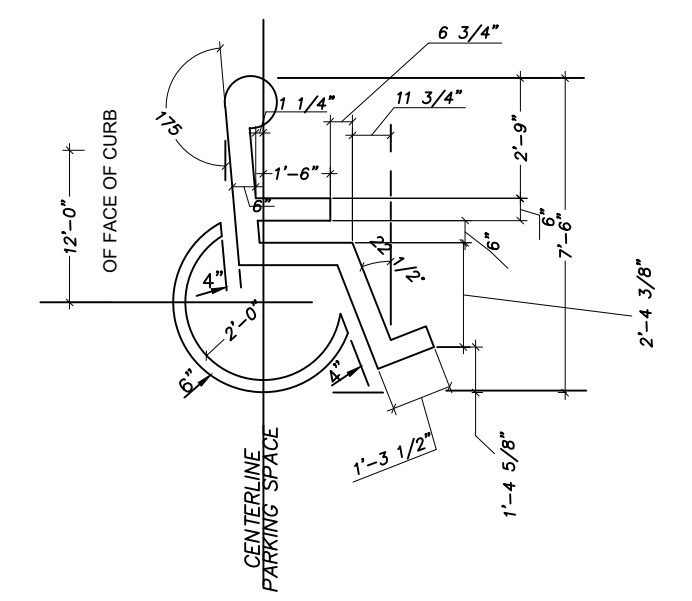
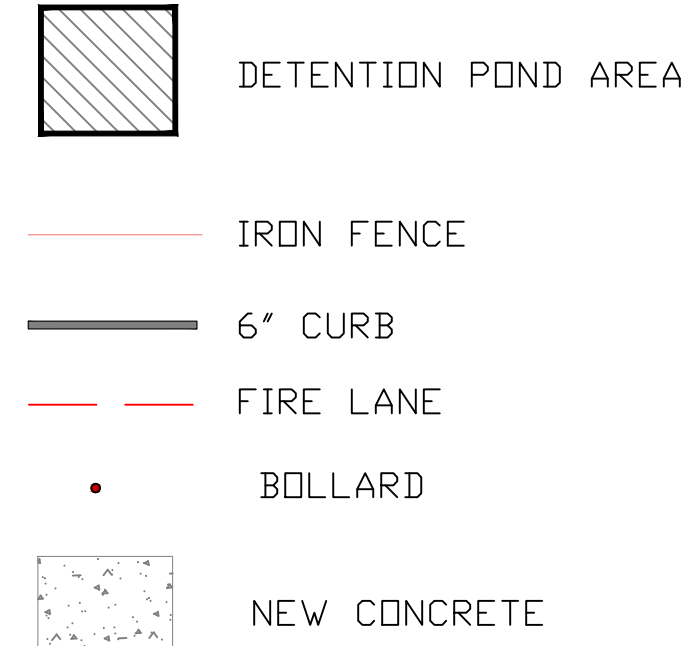
PROPOSED BUILDING
 1-STORY BUILDING
 OVERALL HEIGHT - 22'-5"

Property ID: 100517
 Legal Description: SHERBET PH 1, BLOCK 1 (PT DF), ACRES 7.0
 Geographic ID: 572000-1001-0010
 Agent:
 Type: Real
 Location:
 Address: 1900 N EARL RUDDER FREEWAY TX
 Map ID: 540-242
 Neighborhood CD: A11000C
 Owner:
 Dwner ID: 55591
 Name: SNS INVESTMENTS LLC
 Mailing Address: % SMITH D E
 PO BOX 138
 KURTEN, TX 77662-0138

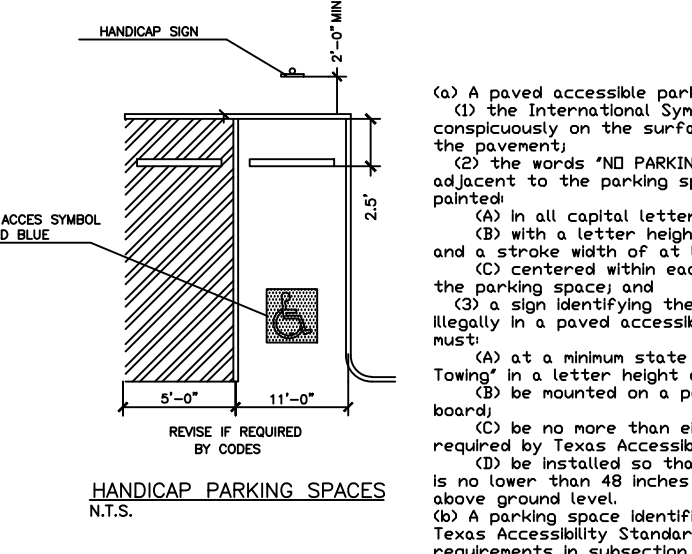
N/F
 PIERCE P. STACY, III
 CALLED 7.00 ACRES
 (2835/191 DPRBCT)

Property ID: 358420
 Legal Description: PROGRESS PARK PH 2, BLOCK 2, LOT 5
 Geographic ID: 572025-0000-0000
 Agent:
 Type: Real
 Location:
 Address: 1840 N EARL RUDDER FREEWAY TX
 Map ID: 540-242
 Neighborhood CD: A11000C
 Owner:
 Dwner ID: 373298
 Name: CROSSWAY FARMS INC
 Mailing Address: 22007 SAKATOGA WOODS DR
 MONTGOMERY, TX 77316

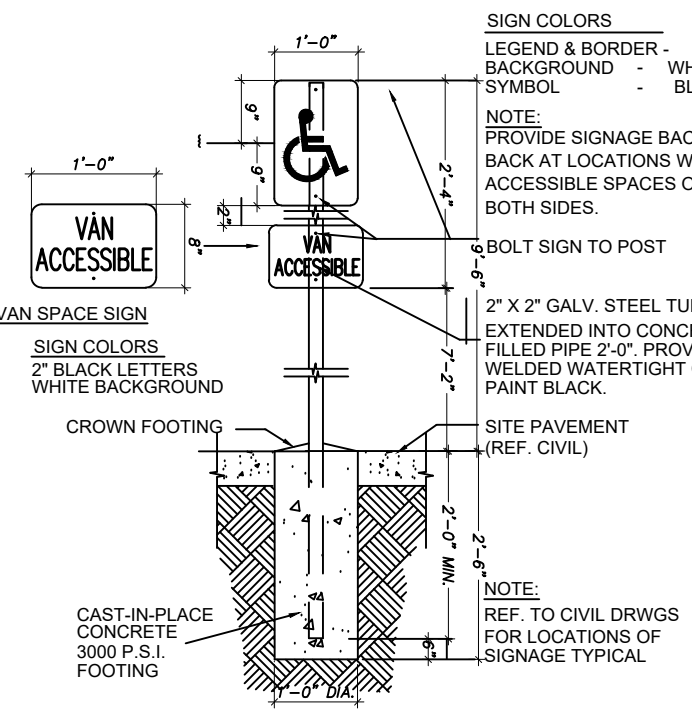
Property ID: 358419
 Legal Description: PROGRESS PARK PH 2, BLOCK 2, LOT 4
 Geographic ID: 572025-0000-0040
 Agent: HERITAX LLC (CSD)
 Type: Real
 Location:
 Address: 1840 N EARL RUDDER FREEWAY TX
 Map ID: 540-242
 Neighborhood CD: A11000C
 Owner:
 Dwner ID: 254847
 Name: MUELLER SUPPLY COMPANY INC
 Mailing Address: 1915 HITCHENS AVE
 BULLINGER, TX 76001-4441



HANDICAP SYMBOL
 SCALE: N.T.S.



HANDICAP PARKING SPACES
 N.T.S.

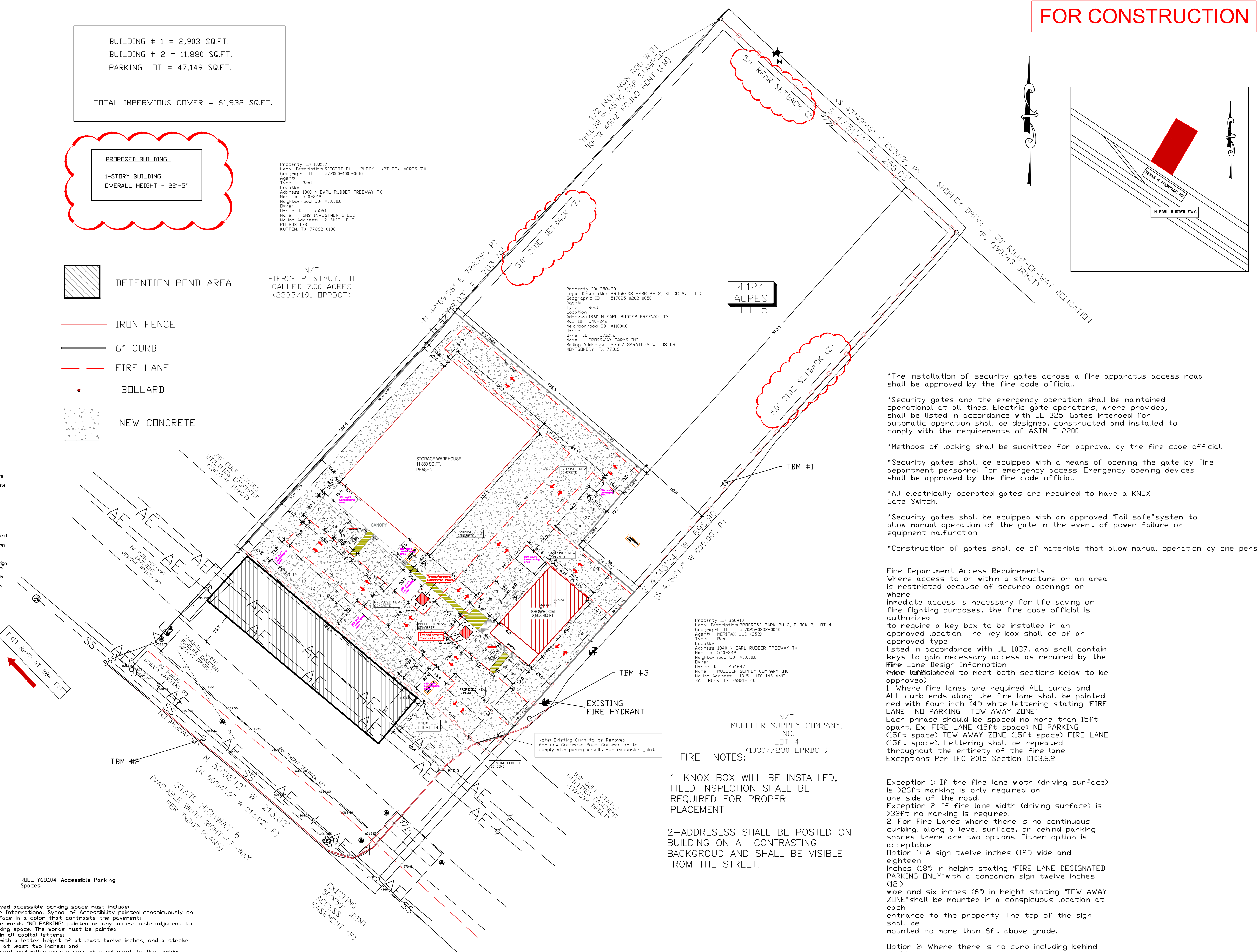
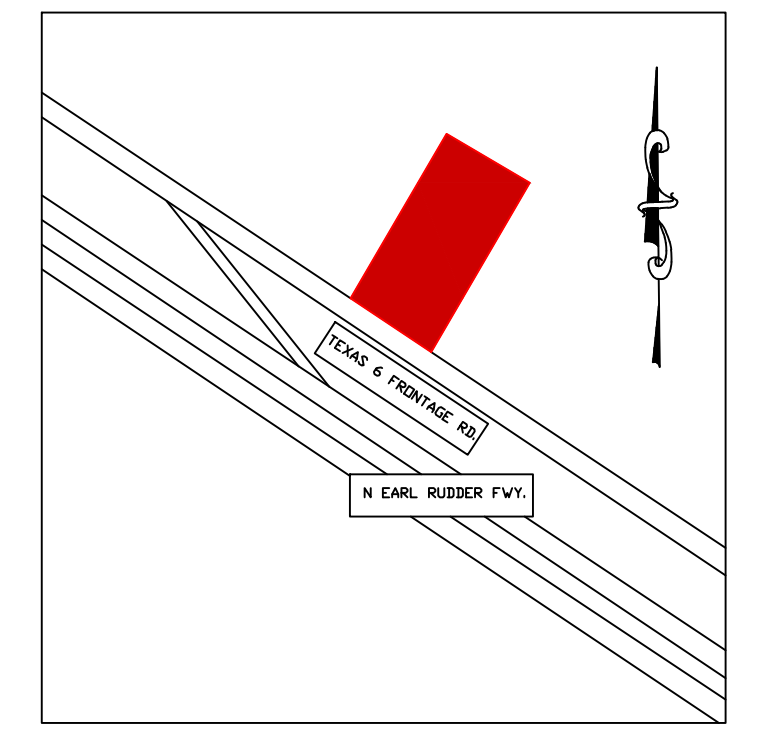


HANDICAPPED SIGN DETAIL
 SCALE: N.T.S.

(a) A paved accessible parking space must include:
 (1) the International Symbol of Accessibility painted conspicuously on the surface in a color that contrasts the pavement;
 (2) the words "NO PARKING" painted on any access aisle adjacent to the parking space. The words must be painted:
 (A) in all capital letters;
 (B) with a letter height of at least twelve inches, and a stroke width of at least two inches; and
 (C) centered within each access aisle adjacent to the parking space; and
 (3) a sign identifying the consequences of parking illegally in a paved accessible parking space. The sign must:
 (A) at a minimum state "Violators Subject to Fine and Towing" in a letter height of at least one inch;
 (B) be mounted on a pole, post, wall or freestanding board;
 (C) be no more than eight inches below a sign required by Texas Accessibility Standards, 502.6; and
 (D) be installed so that the bottom edge of the sign is no lower than 48 inches and no higher than 80 inches above ground level.
 (b) A parking space identification sign that complies with Texas Accessibility Standards, 502.6, that includes the requirements in subsection (a)(3)(A) satisfies subsection (a)(3).

NOTE: THERE WILL BE NO
 BIG TRUCKS OR 18 WHEELER TRUCKS
 ENTERING THE SITE.

FOR CONSTRUCTION



*The installation of security gates across a fire apparatus access road shall be approved by the fire code official.
 *Security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200
 *Methods of locking shall be submitted for approval by the fire code official.
 *Security gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Emergency opening devices shall be approved by the fire code official.
 *All electrically operated gates are required to have a KNIX Gate Switch.
 *Security gates shall be equipped with an approved "Fail-safe" system to allow manual operation of the gate in the event of power failure or equipment malfunction.
 *Construction of gates shall be of materials that allow manual operation by one person.

FIRE NOTES:

1-KNOX BOX WILL BE INSTALLED, FIELD INSPECTION SHALL BE REQUIRED FOR PROPER PLACEMENT
 2-ADDRESSES SHALL BE POSTED ON BUILDING ON A CONTRASTING BACKGROUND AND SHALL BE VISIBLE FROM THE STREET.

Fire Department Access Requirements
 Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the Fire Lane Design Information.
 (5) Fire lanes shall be spaced no more than 15ft apart. Ex: FIRE LANE (15ft space) NO PARKING (15ft space) TDW AWAY ZONE (15ft space) FIRE LANE (15ft space). Lettering shall be repeated throughout the entirety of the fire lane.
 Exceptions Per IFC 2015 Section D103.6.2
 Exception 1: If the fire lane width (driving surface) is >26ft marking is only required on one side of the road.
 Exception 2: If fire lane width (driving surface) is >32ft, no marking is required.
 2. For Fire Lanes where there is no continuous curbing, along a level surface, or behind parking spaces there are two options. Either option is acceptable.
 Option 1: A sign twelve inches (12") wide and eighteen inches (18") in height stating "FIRE LANE DESIGNATED PARKING ONLY" with a companion sign twelve inches (12") wide and six inches (6") in height stating "TDW AWAY ZONE" shall be mounted in a conspicuous location at each entrance to the property. The top of the sign shall be mounted no more than 6ft above grade.
 Option 2: Where there is no curb including behind parking spaces a continuous 8 inch red stripe with 4 inch (4") white lettering stating "FIRE LANE -NO PARKING -TDW AWAY ZONE" Each phrase should be spaced no more than 15ft apart. Ex: FIRE LANE (15ft space) NO PARKING (15ft space) TDW AWAY ZONE (15ft space) FIRE LANE (15ft space). Lettering shall be repeated throughout the entirety of the fire lane.



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 alvaradogroup12@gmail.com

DRAWN BY:
 MIGUEL ALVARADO

SEAL:



D. Lamacchia
 18/APRIL/2023

Diego Lamacchia, PE, PMP
 TBPE Firm - 18611

PROJECT NAME: **CROSSWAY AUTO CENTER**
 1860 N. EARL RUDDER FRWY. BUILDING 1
 BRYAN TX. 77808

PLOT DATE:
 04/18/2023

SCALE:
 1:40

JOB NO:
 000

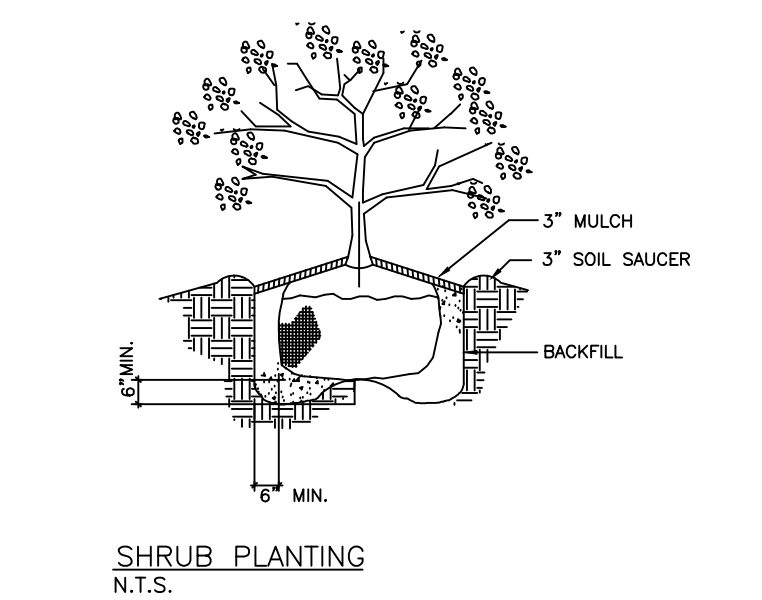
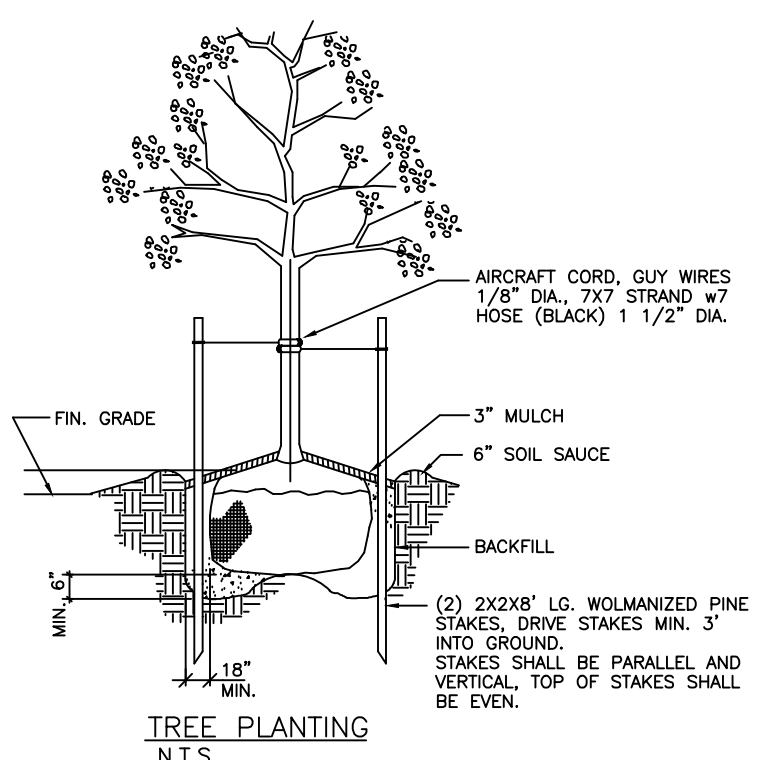
SHEET NAME:
 SITE PLAN

SHEET #:
 C-1

FOR CONSTRUCTION

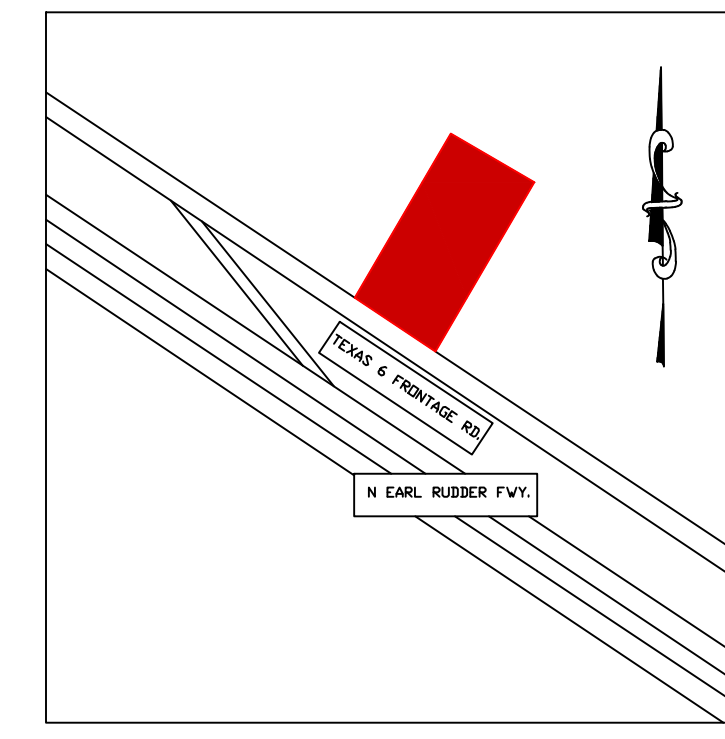
LANDSCAPE = 95,218 SQ.FT. / 15% = 14,282 SQ.FT.
 LANDSCAPE REQUIREMENTS
 1) 15% OF SITE AREA (14,282 SQ.FT.) = 7,141.35 SQ.FT. LANDSCAPING
 2) NOT LESS THEN 50% OF REQUIRED AREA SHALL BE TREES = 7,141.35 SQ.FT REQ'D 7,200 SQ.FT PROVIDED.
 3) NOT LESS THEN 50% OF TREE PLANNED SHALL BE CANOPY = 3,570 SQ.FT REQ'D
 4) ALL PARKING ISLANDS MUST HAVE A CANOPY TREE.
 TOTAL AREA REQUIRED = 14,282 SF
 LANDSCAPE AREA PROVIDED = 14,360 SF.

BUILDING # 1 = 2,903 SQ.FT.
 BUILDING # 2 = 11,880 SQ.FT.
 PARKING LOT = 47,149 SQ.FT.
 TOTAL IMPERVIOUS COVER = 61,932 SQ.FT.



LEGEND

TREE PROTECTION NOTES:
 1. EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
 2. DISPOSAL OF ANY WASTE MATERIAL SUCH AS BUT NOT LIMITED TO PAINT, ASPHALT, OIL, SOLVENTS, CONCRETE, MORTAR ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
 3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
 4. NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
 5. NO MATERIALS SHALL BE STORED WITHIN THE DRIFLINE AREA OF A TREE TO BE PRESERVED.
 6. ANY TREE CLOSER THAN 10' FROM THE FOUNDATION SHOULD HAVE A TREE ROOT BARRIER.



	SYMBOL	SIZE	OFFICIAL NAME	#	SF VALUE	TOTAL QTY.	TOTAL POINT
1	●	1.5"-3.0" CALIPER	LIVE OAK QUERCUS VIRGINIANA CANOPY TREE		200	51	10,200
2	⊗	1.5"-3.0" CALIPER	DYNAMITE CREPE MYRTLE LAGERSTROEMIA INDICA (DYNAMITE) NON-CANOPY TREE		100	19	1,900
3	○	2-5 GALLON	KNOCK-OUT ROSE (ROSE RADRAZZ) SHRUB		10	93	930
4	○	2-5 GALLON	INDIANA HAWTHORN (RHAPHIOLEPIS INDICA) SHRUB		10	133	1,330
5	+	COVER	BERMUDA GRASS		100		
TOTAL VALUE							14,360



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CROSSWAY AUTO CENTER
 1860 N. EARL RUDDER FRWY. BUILDING 1
 BRYAN TX, 77808

PROJECT NAME:
 PLOT DATE:
 04/18/2023

SCALE:
 1:40
 JOB No:
 000
 SHEET NAME:

LANDSCAPE PLAN

SHEET #:
C-1A



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Houston, Tx 77092

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DRAWN BY:

MIGUEL ALVARADO

SEAL:



Diego Lamacchia
10/APRIL/2023

Diego Lamacchia, PE, PMP
TBPE Firm - 18611

CROSSWAY AUTO CENTER
1860 N. EARL RUDDER FRWY. BUILDING 1
BRYAN TX. 77808

PROJECT NAME:

PLOT DATE:

04/18/2023

SCALE:

1:40

JOB No:

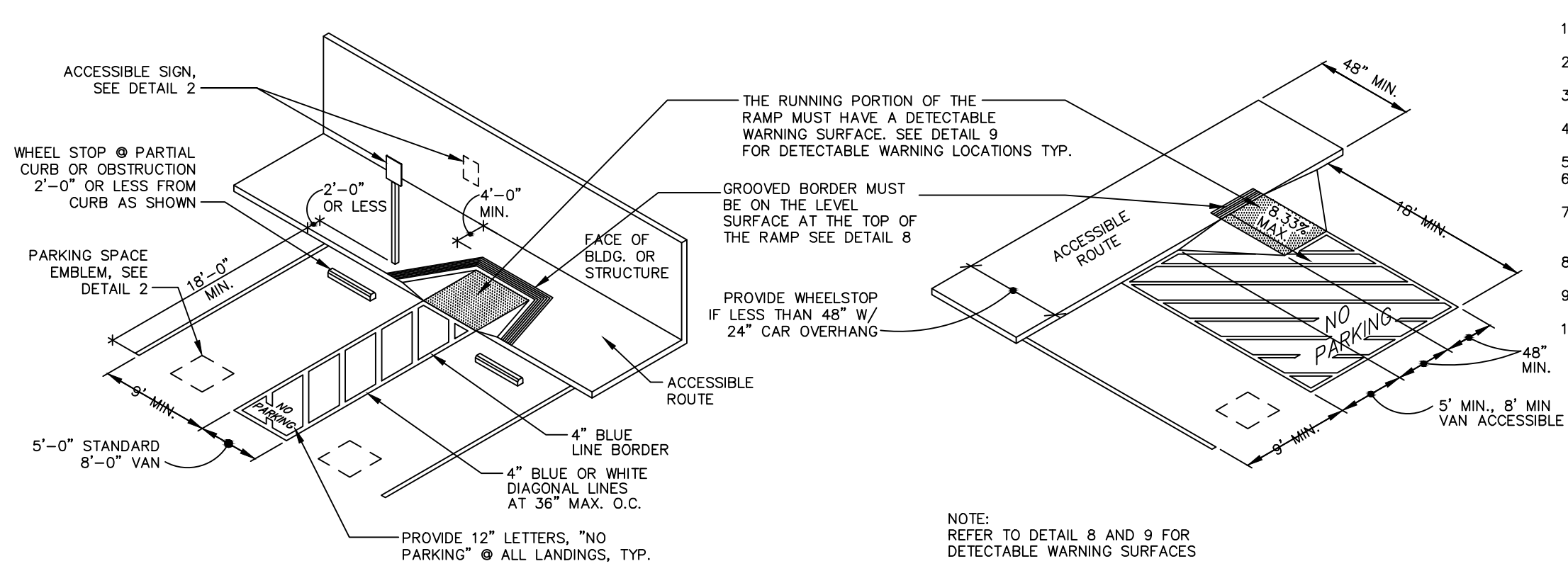
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SHEET NAME:

NOTES

SHEET #:

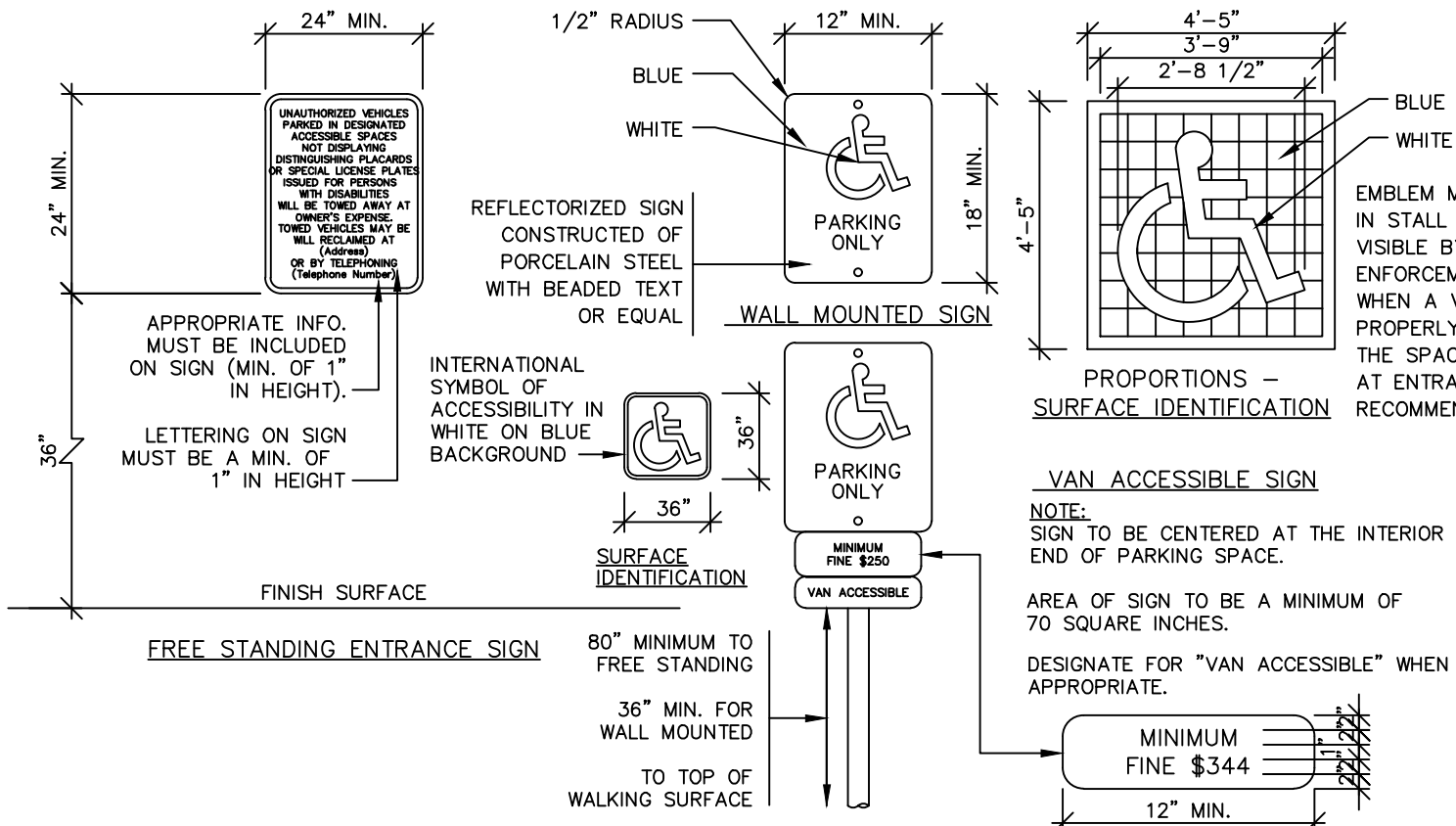
C-2



ACCESSIBLE PARKING STALL NOTES

- ACCESSIBLE SPACE MUST PERMIT USE OF EITHER CAR DOOR WITH AN UNLOADING AREA ON THE PASSENGER SIDE.
- WHEELSTOPS ARE REQUIRED WHEN NO CURB OR BARRIER IS PROVIDED OR FACES OF BUILDINGS, SIGNS OR OTHER OBJECTS CAN BE DAMAGED.
- WHEELCHAIR USERS MUST NOT BE FORCED TO GO BEHIND PARKED CARS OTHER THAN THEIR OWN.
- SURFACE SLOPES OF PARKING AREAS FOR THE DISABLED SHOULD BE MINIMAL BUT ARE REQUIRED NOT TO EXCEED 2% IN ANY DIRECTION.
- RAMP SHALL NOT ENCRUCH INTO ANY PARKING OR UNLOADING SPACE.
- ACCESSIBLE SPACE SHALL BE AS CLOSE AS POSSIBLE TO ACCESSIBLE PRIMARY ENTRANCE OF BLDG.
- WHEN ONLY ONE SPACE IS PROVIDED IT HAS TO BE A 17' WIDE VAN ACCESSIBLE SPACE LINED TO PROVIDE 9' PARKING AREA AND 8' LOADING AND UNLOADING AREA ON THE PASSENGER SIDE OF THE STALL.
- WHEN MORE THAN 1 SPACE IS REQUIRED, 2 SPACES CAN BE PROVIDED WITHIN A 23' WIDE AREA.
- A 30' CLEAR ROUTE IS REQUIRED BETWEEN THE ACCESSIBLE PARKING SIGN & THE ADJACENT BLDG.
- 6" HIGH WHEELSTOP WHERE NO RAISED CURB EXISTS AT VAN PARKING.

TOTAL PARKING IN LOT	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES
1 TO 25	2
26 TO 50	3
51 TO 75	4
76 TO 100	5
101 TO 150	6
151 TO 200	7
201 TO 300	8
301 TO 400	9
401 TO 500	10
501 TO 1000	2 PERCENT OF TOTAL
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000

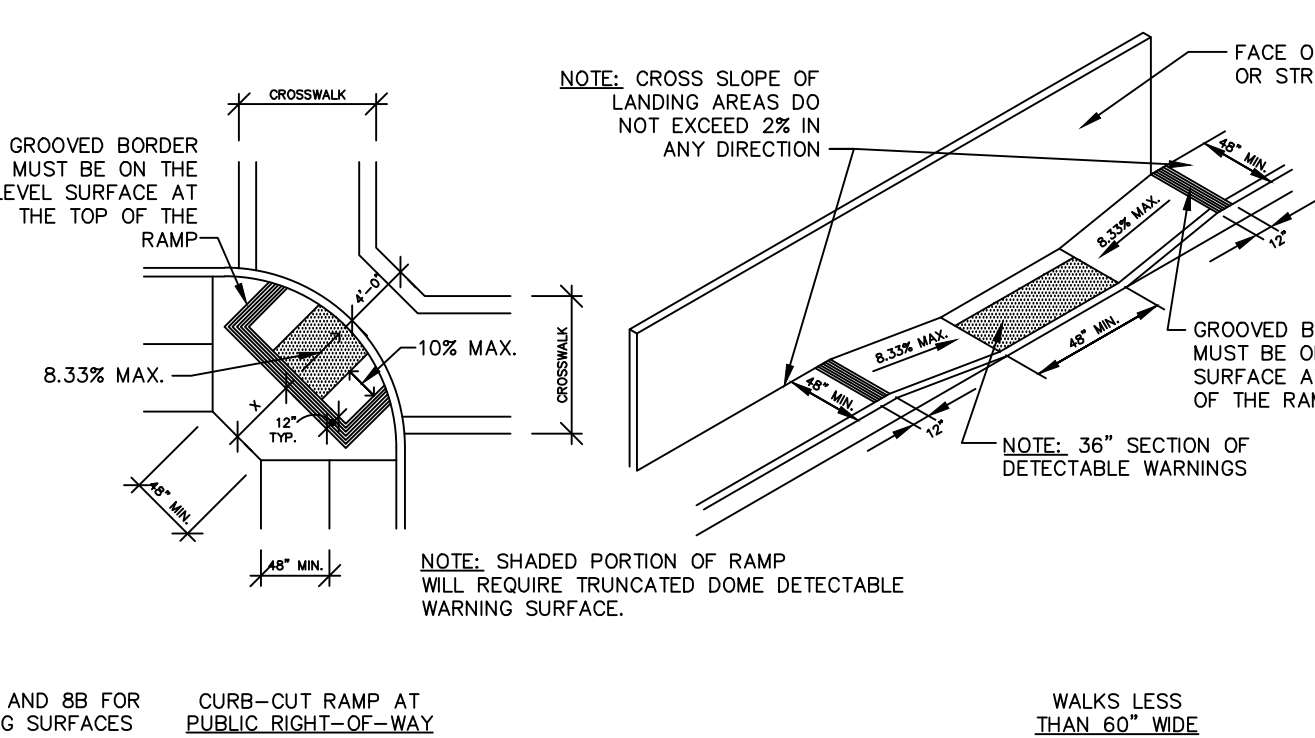
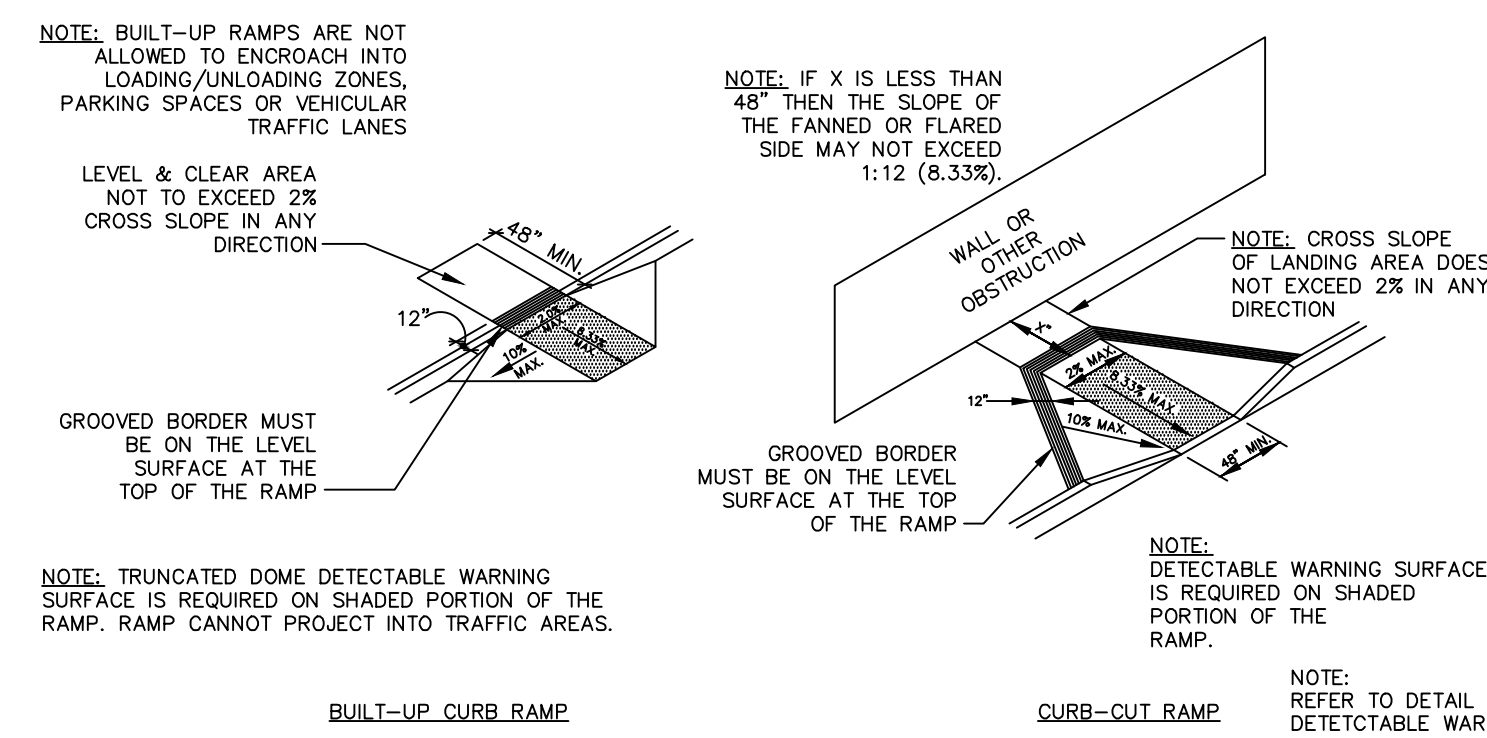


SIGNAGE AND IDENTIFICATION OF SPACES:

- EACH ACCESSIBLE PARKING SPACE TO HAVE PERMANENT (70 SQ. IN.) REFLECTORIZED PORCELAIN ENAMELED STEEL SIGN, FREE STANDING SIGNS LOCATED IN A PATH OF TRAVEL SHALL BE MOUNTED A MIN. OF 80" ABOVE WALKING SURFACE. WALL MOUNTED SIGNS LOCATED AT INTERIOR END OF PARKING SPACE SHALL BE MOUNTED A MIN. OF 36" ABOVE FINISH GRADE.
- OFF-STREET PARKING FACILITIES TO HAVE SIGN AT EACH ENTRANCE OR IMMEDIATELY ADJACENT TO OR VISIBLE FROM EACH STALL OR SPACE NOT LESS THAN 17"x22" IN SIZE. SIGN TEXT TO BE BEADED (OR EQUAL).
- SIGN TEXT TO STATE THE FOLLOWING: "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT AUTHORIZED POLICE DEPARTMENT TOWING BY TELEPHONING (XXX)-XXX-XXXX.
- SIGNS SHALL BE LOCATED CURB SIDE SO THAT A 24" OVERHANG OF A PARKED VEHICLE SHALL NOT DAMAGE IT.

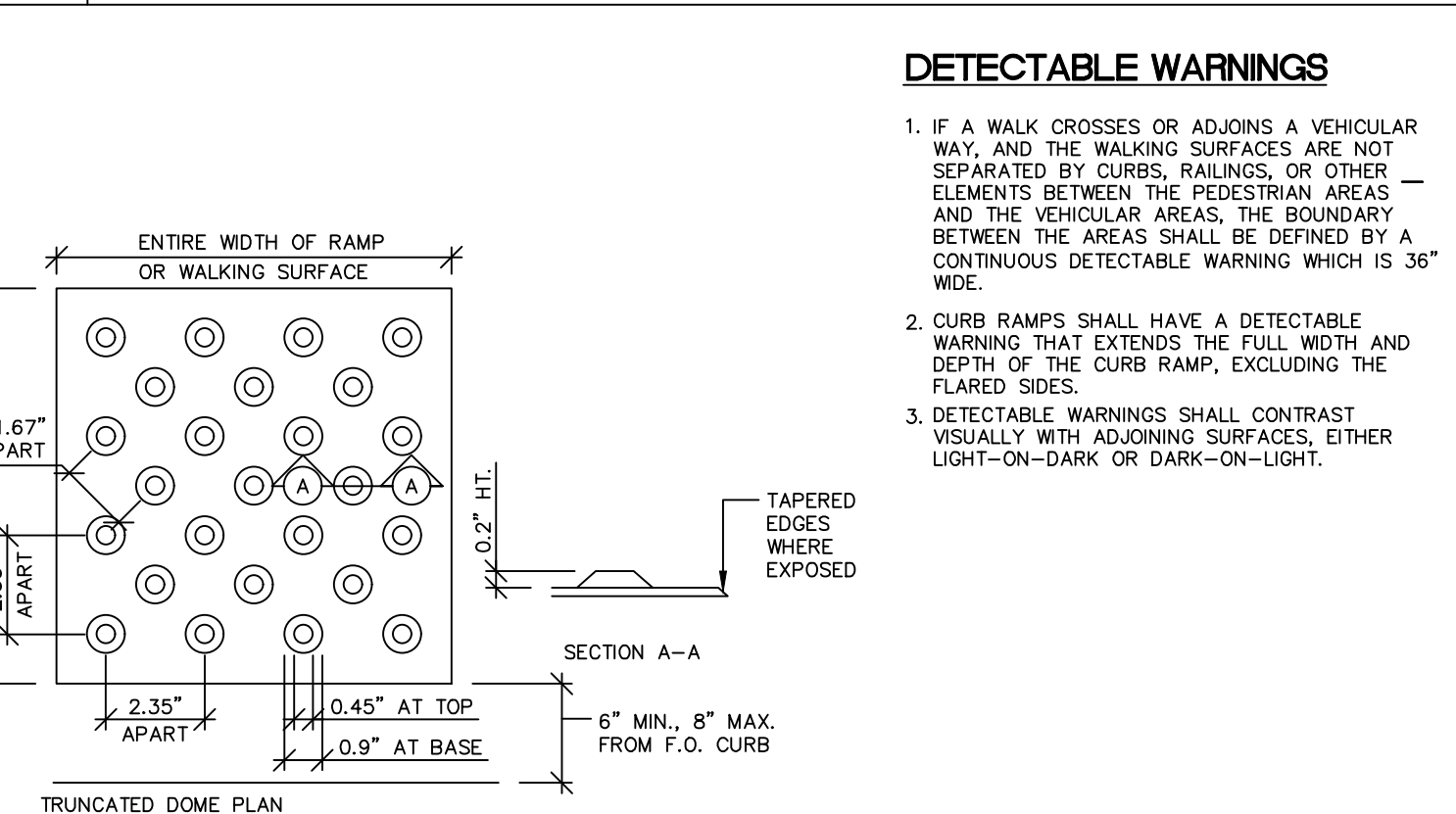
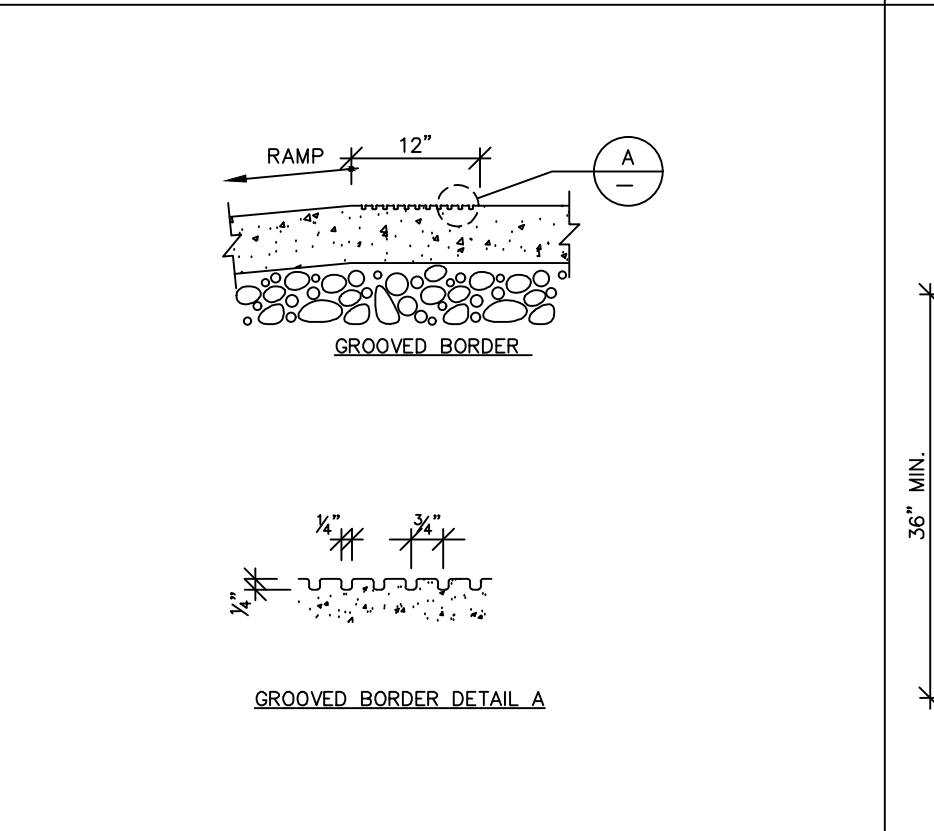
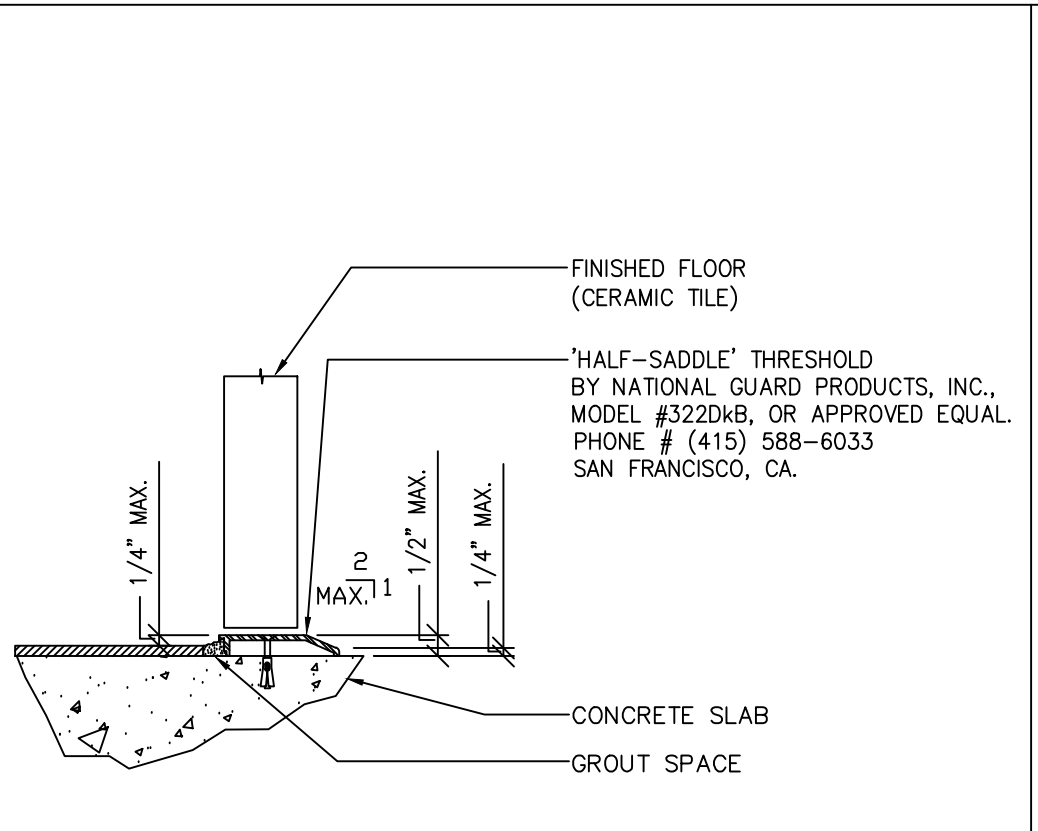
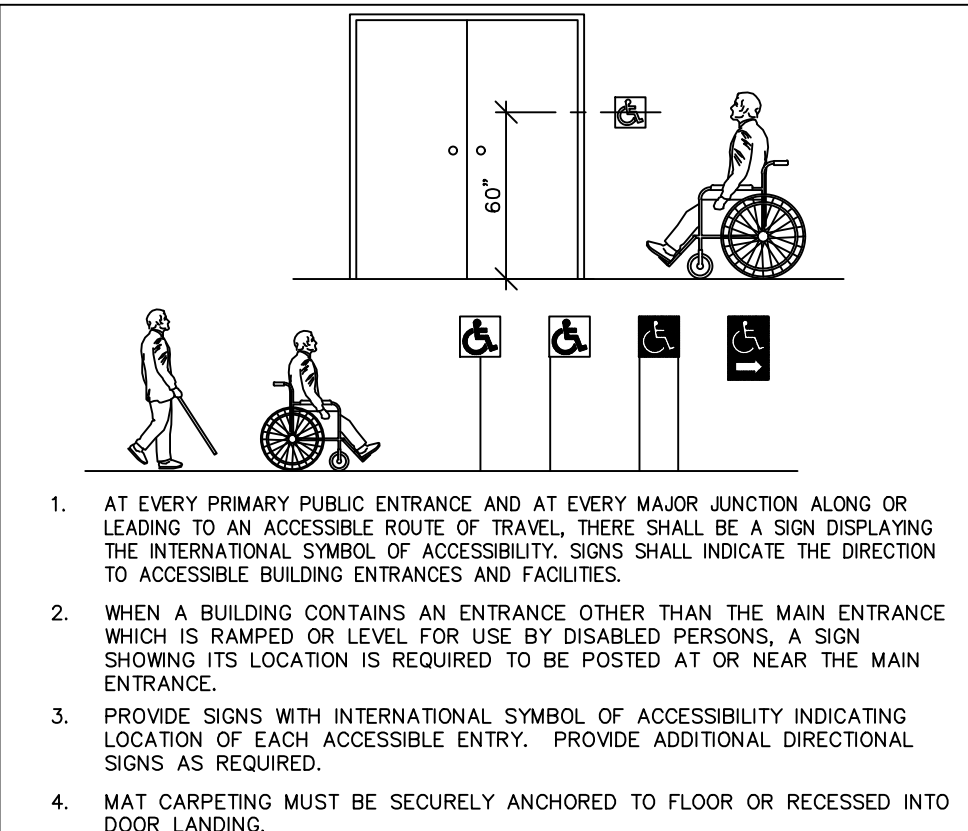
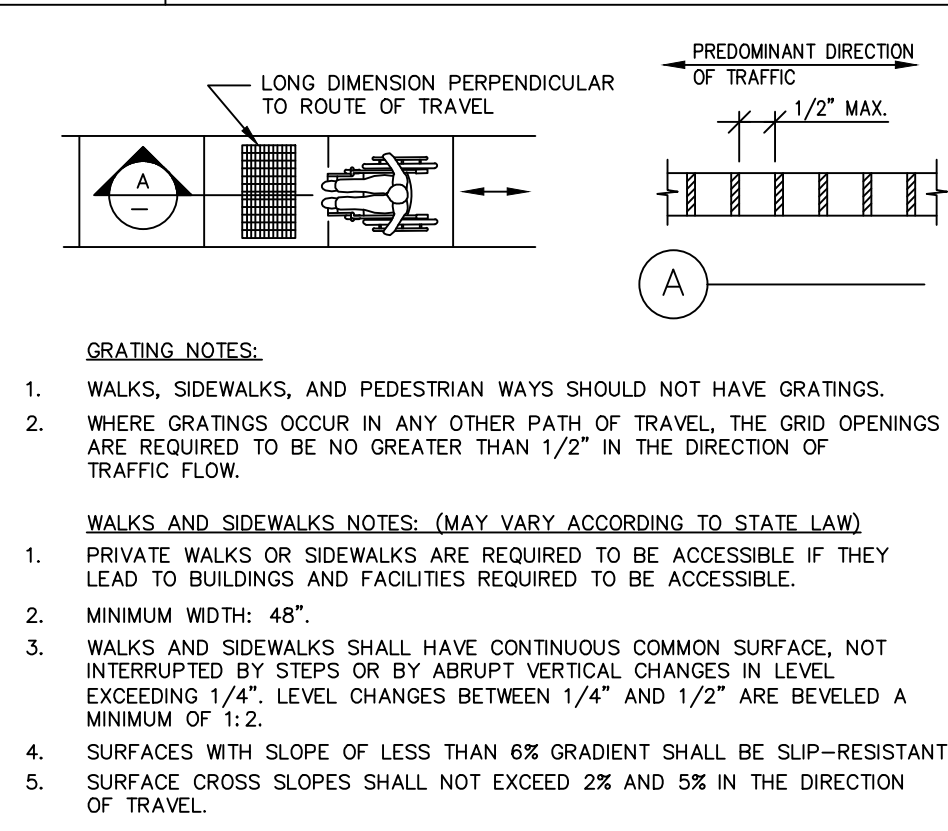
1 ACCESSIBLE PARKING STALLS
NO SCALE

2 ACCESSIBLE PARKING SIGNS
NO SCALE



3 CURB RAMPS
NO SCALE

4 HAZARDS
NO SCALE



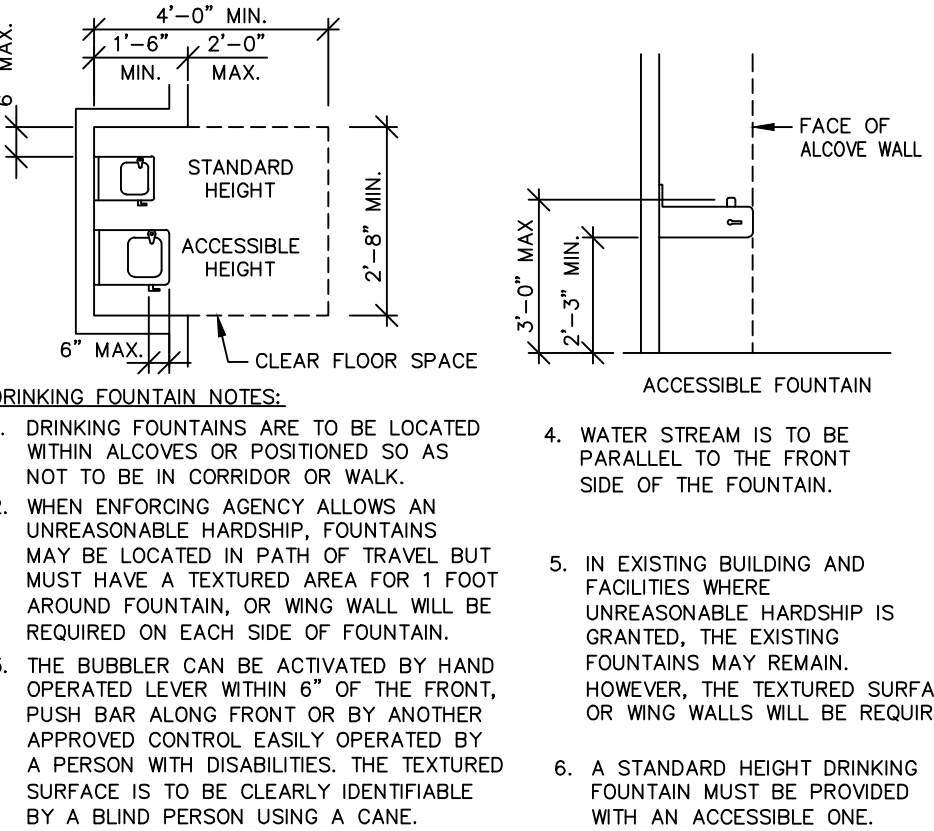
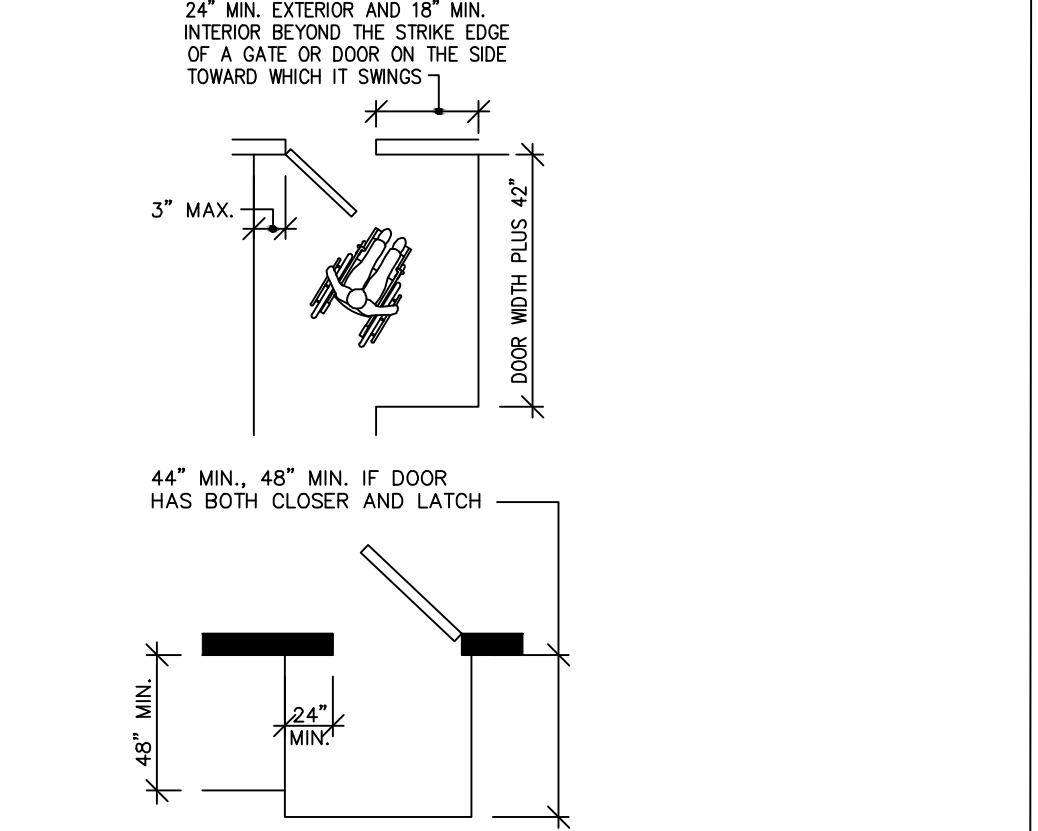
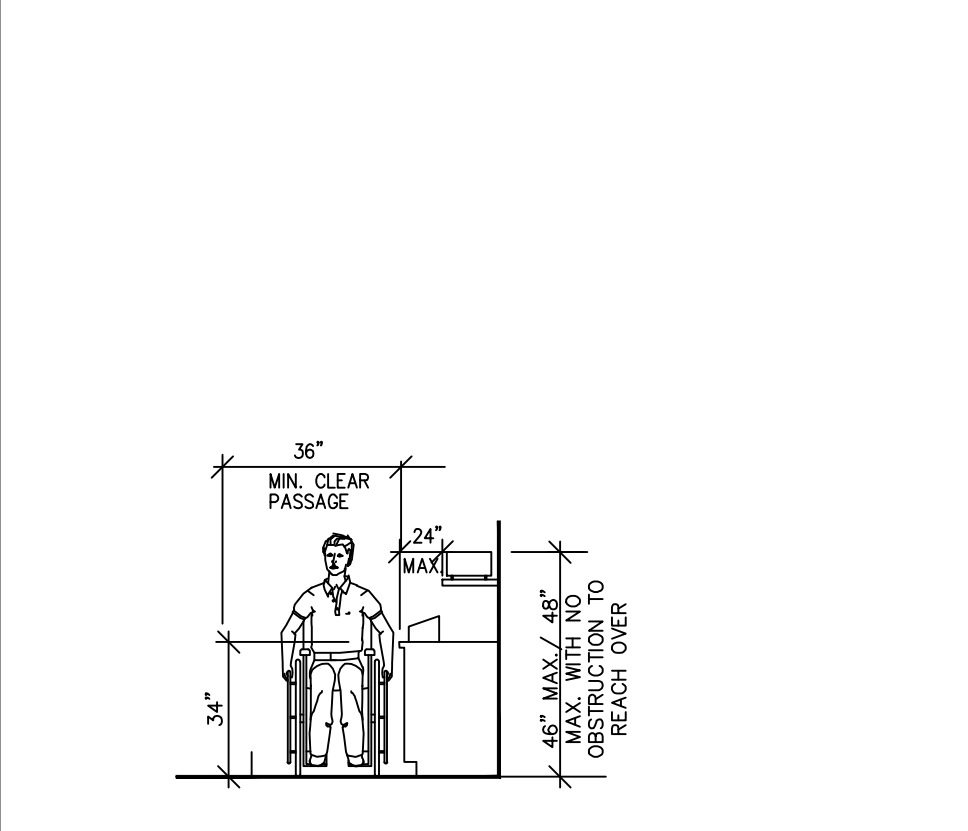
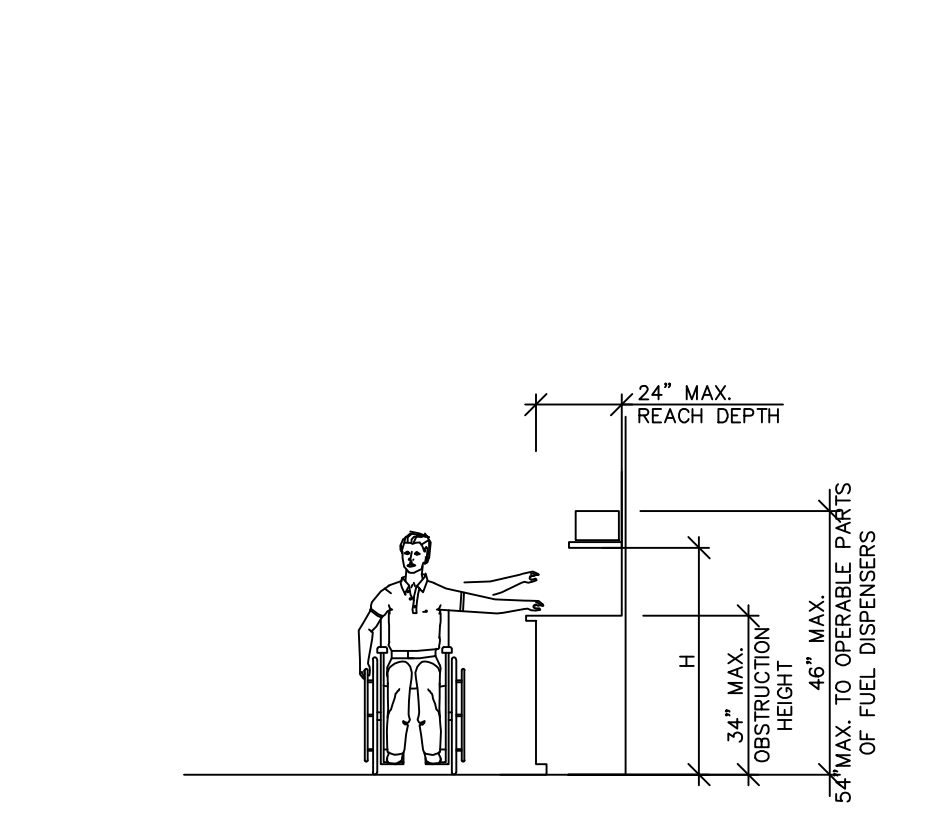
5 WALKS, SIDEWALKS AND ACCESS ROUTES
NO SCALE

6 ENTRY AND DIRECTIONAL SIGNS
NO SCALE

7 DOOR SILL
1/4" = 1'-0"

8 GROOVED BORDER DETAIL
N.T.S.

9 DETECTABLE WARNING SURFACES
NO SCALE



031 General Sites, buildings, facilities, and elements are exempt from these requirements to the extent specified by 203.

EXCEPTION: In new construction, full compliance with the requirements of these standards is not required where an entity can demonstrate that it is structurally impracticable to meet the requirements. Full compliance will be considered structurally impracticable only in those rare circumstances when the unique characteristics of terrain prevent the incorporation of accessibility features. See additional information in 105-5.6. For purposes of ensuring compliance with requirements of Texas Government Code, Chapter 469, all determinations of structural impracticability are made by the Department in accordance with the variance procedures contained in Chapter 68, Texas Administrative Code.

203.2 Construction Sites. Structures and sites directly associated with the actual processes of construction, including but not limited to, scaffolding, bridging, materials hoists, materials storage, and construction trailers shall not be required to comply with these requirements or to be on an accessible route. Portable toilet units provided for use exclusively by construction personnel on a construction site shall not be required to comply with 213 or to be on an accessible route.

FOR CONSTRUCTION

10 REACH RANGES
NO SCALE

11 TABLEWARE ACCESS
NO SCALE

12 MANEUVERING CLEARANCES AT DOORS
NO SCALE

13 DRINKING FOUNTAINS
NO SCALE

14 GENERAL NOTES
NO SCALE

PAVEMENT RECOMMENDATIONS

General

Pavement areas for the proposed project are expected to include parking areas and driveways. The following recommendations are presented as a guideline for pavement design and construction. These recommendations are based on a) our previous experience with subgrade soils like those encountered at this site, b) pavement sections which have proved to be successful under similar design conditions, c) final pavement grades will provide adequate drainage for the pavement areas and that water will not be allowed to enter the pavement system by either edge penetration adjacent to landscape areas or penetration from the surface due to surface ponding, or inadequate maintenance of pavement joints, or surface cracks that may develop.

It is beyond the scope of this investigation to do more than point out the factors that have a definite influence on the amount and type of swell to which a pavement is subjected during its useful life. The design engineer must be aware of these factors as he develops his design and make adjustments as necessary according to the results of special measurements or from his engineering experience and judgment.

Pavement designs provide an adequate thickness of structural sections over a particular subgrade (in order to reduce the wheel load to a distributed level so that the subgrade can support load). The support characteristics of the subgrade is based on strength characteristics of the subgrade soils and not on the shrinkage and swelling characteristics of the clays. Therefore, the pavement sections may be adequate from a structural stand point, may still experience cracking and deformation due to shrinkage and swelling characteristics of the soils. In addition, if the proposed new pavement areas are used to carry temporary construction traffic, then heavier street sections may be needed. Please contact InTEC to discuss options.

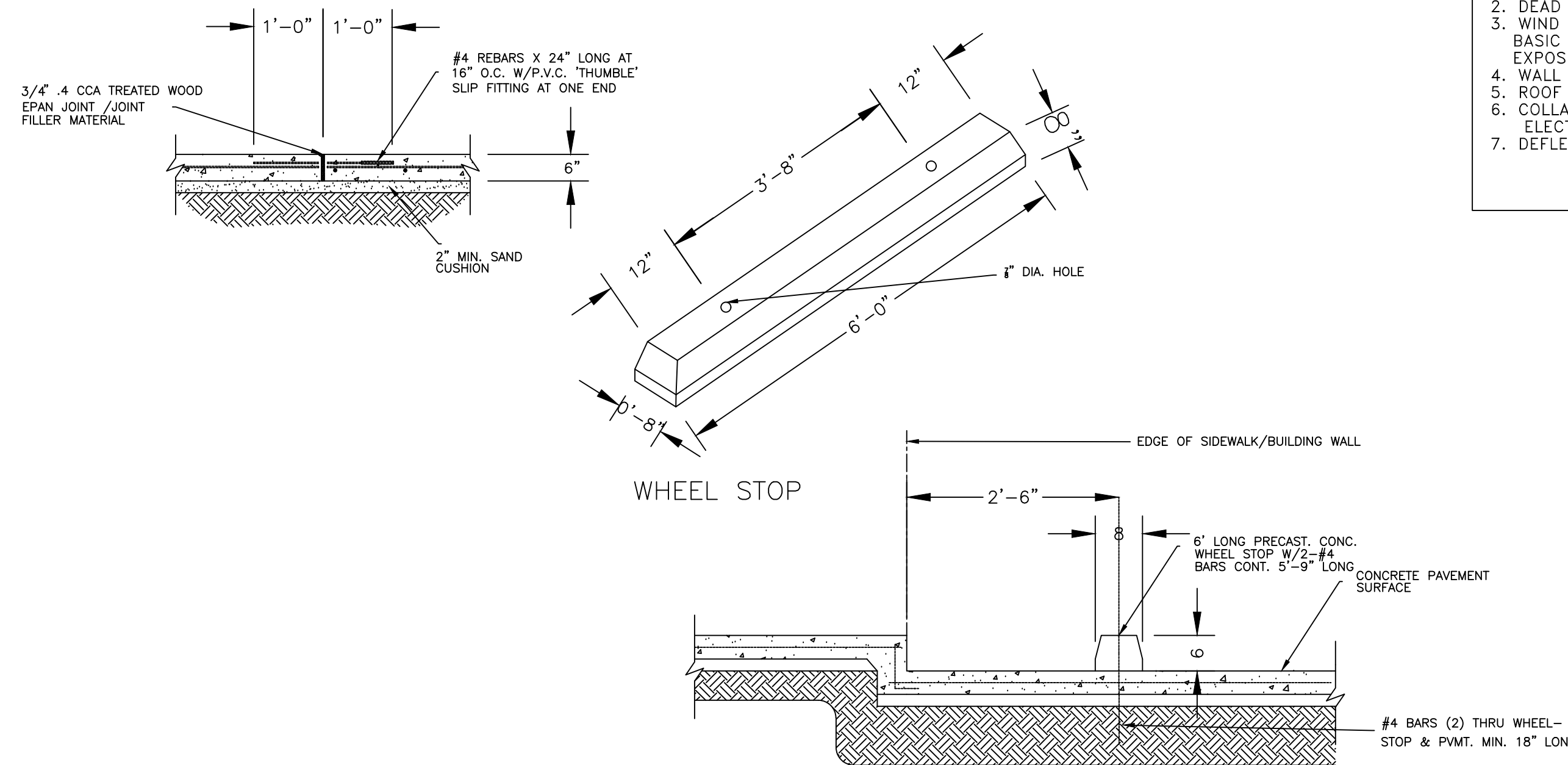
It is very important to minimize moisture changes in the subgrade to lower the shrinkage and swell movements of the subgrade clays. The pavement and adjacent drainage should be maintained. Maintenance should be performed by sealing the cracks as soon as they develop to prevent further water penetrations and damage.

- (a) majority of the pavement distress observed over the years were caused by changes in moisture content of the underlying subgrade and/ or excessive moisture in the base section,
- (b) pavements with a grade of one percent or more have performed better than the pavements with allowable minimum grade,
- (c) pavements with no underground utilities have performed better than pavements with underground utilities and the associated laterals,
- (d) pavements that are at a higher grade elevation than the surrounding lots have performed better, and
- (e) any design effort that minimizes moisture penetration into the pavement layers have performed better.

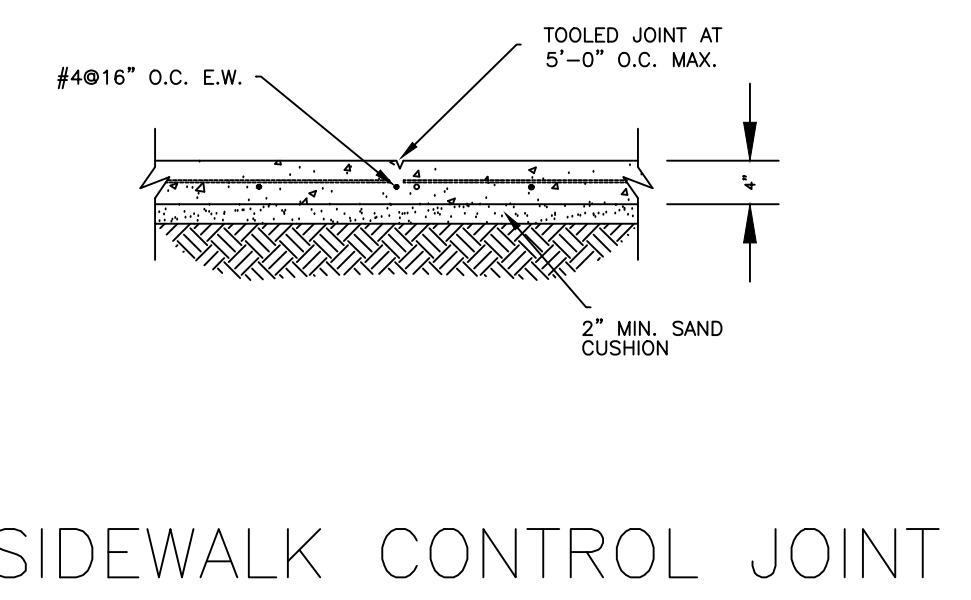
Periodic maintenance such as crack sealing should be anticipated for pavements constructed on clay subgrades.

"Alligator" type Cracks

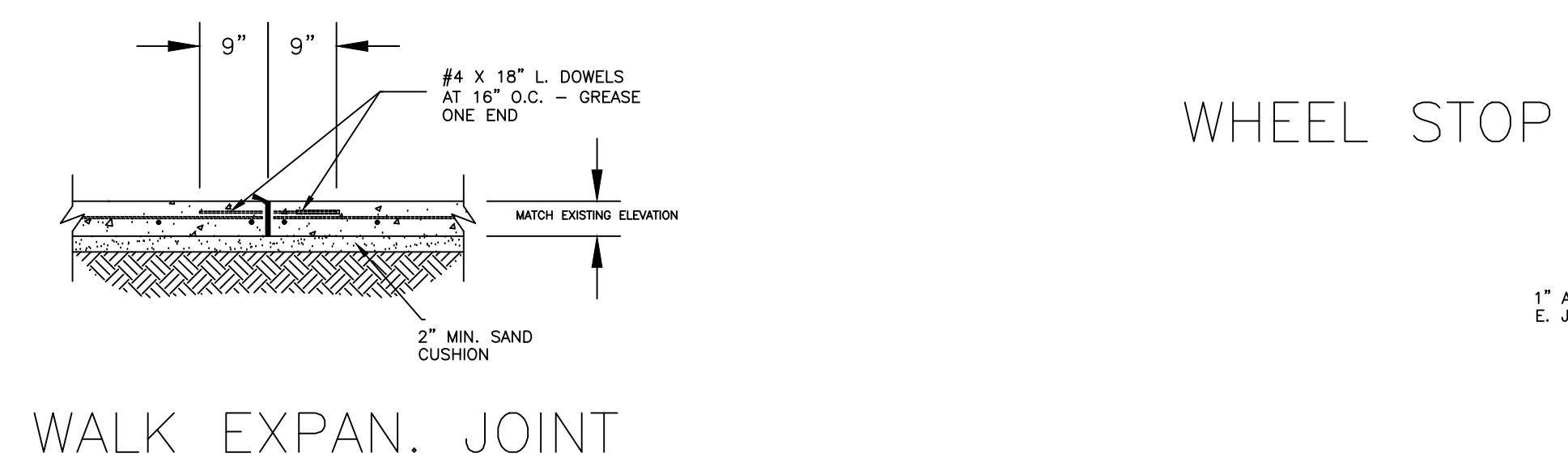
A layer of aggregate base is typically used underneath the concrete curbs around the pavement areas. This layer of aggregate base underneath the concrete curb is conducive to the infiltration of surface water into the pavement areas. Water infiltration into the base layer can result in "alligator type" cracks especially when accompanied by construction traffic. Increasing the moisture content of the pavement sections will significantly impact the support characteristics. Penetrating the concrete curbs at least six inches into the native clays soils will act as a barrier to this type of water infiltration. In addition, French Drains installed on the outside of the curbs will reduce this type of water infiltration. Alligator type cracks are also caused by weak I soft pockets within the pavement layers.



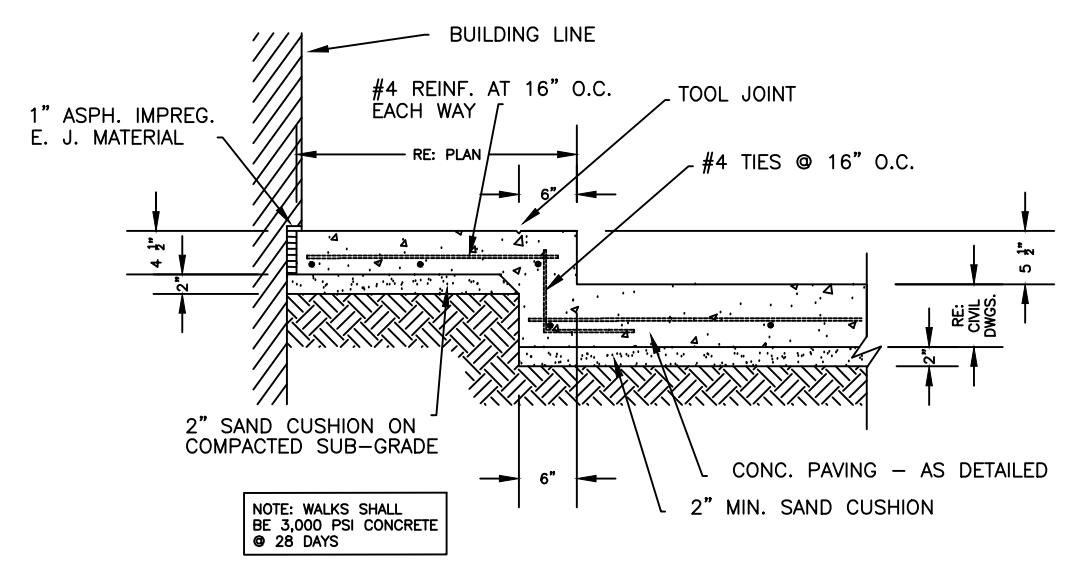
- DESIGN CRITERIA:
1. ROOF LIVE LOADS : 20 PSF
 2. DEAD LOADS : 15 PSF
 3. WIND LOADS
BASIC WIND DESIGN VELOCITY = 139 MPH (3-SECOND GUST WIND SPEED)
EXPOSURE: B IMPORTANCE FACTOR:1
 4. WALL WIND LOAD 25 PSF (PRESSURE + SUCTION)
 5. ROOF UPLIFT 18 PSF (SUCTION)
 6. COLLATERAL LOAD
ELECT. TRANSFORMERS 15 PSF
 7. DEFLECTION LIMITS: LIVE LOAD L/240 TABLE 1604.3 2021 IBC
TOTAL LOAD L/120



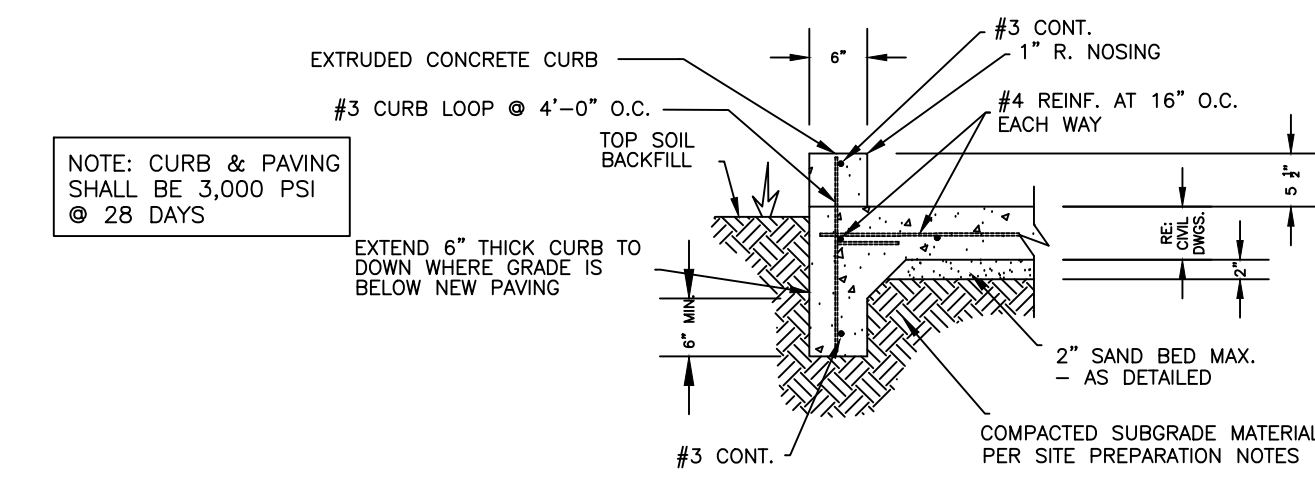
SIDEWALK CONTROL JOINT



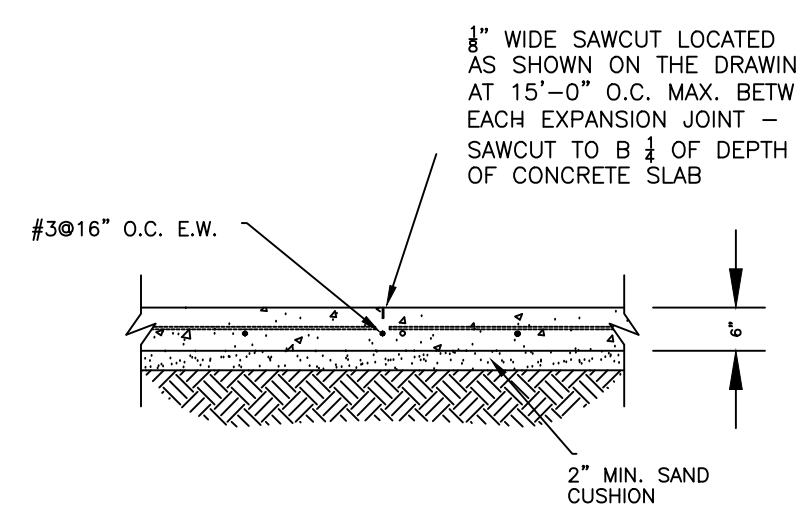
WALK EXPAN. JOINT



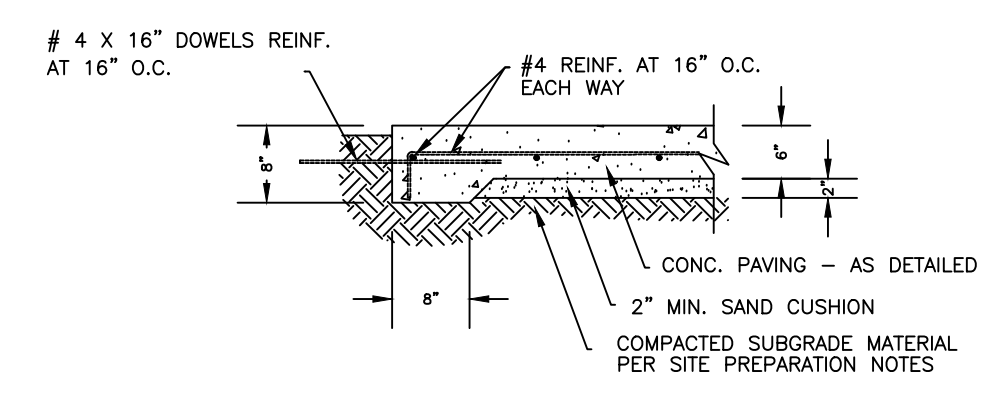
TYP. SIDEWALK



CONCRETE CURB



PAVING CONTROL JOINT



CONCRETE PAVING DETAIL

FOR CONSTRUCTION

ALL CONCRETE USED IN FOUNDATIONS AND PAVING SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF NOT LESS THAN 3000 psi.



ALVARADO GROUP, LLC

7015 W. Tidwell Rd. G110
Houston, Tx 77092

alvaradogroup12@gmail.com

DRAWN BY:

MIGUEL ALVARADO

SEAL:



Diego Lamacchia, PE, PMP
10/APRIL/2023
TBPE Firm - 18611

PROJECT NAME:

CROSSWAY AUTO CENTER
1860 N. EARL RUDDER FRWY. BUILDING 1
BRYAN TX. 77808

PLOT DATE:

04/18/2023

SCALE:

1:40

JOB No:

000

SHEET NAME:

PAVENT NOTES

SHEET #:

C-3



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Houston, Tx 77092

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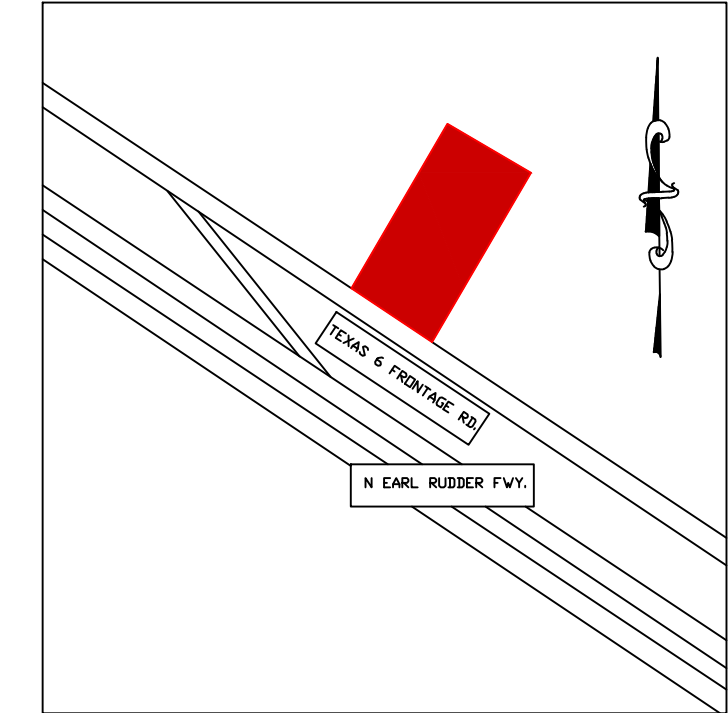
SHEET NAME:

PUBLIC
UTILITY PLAN

SHEET #:

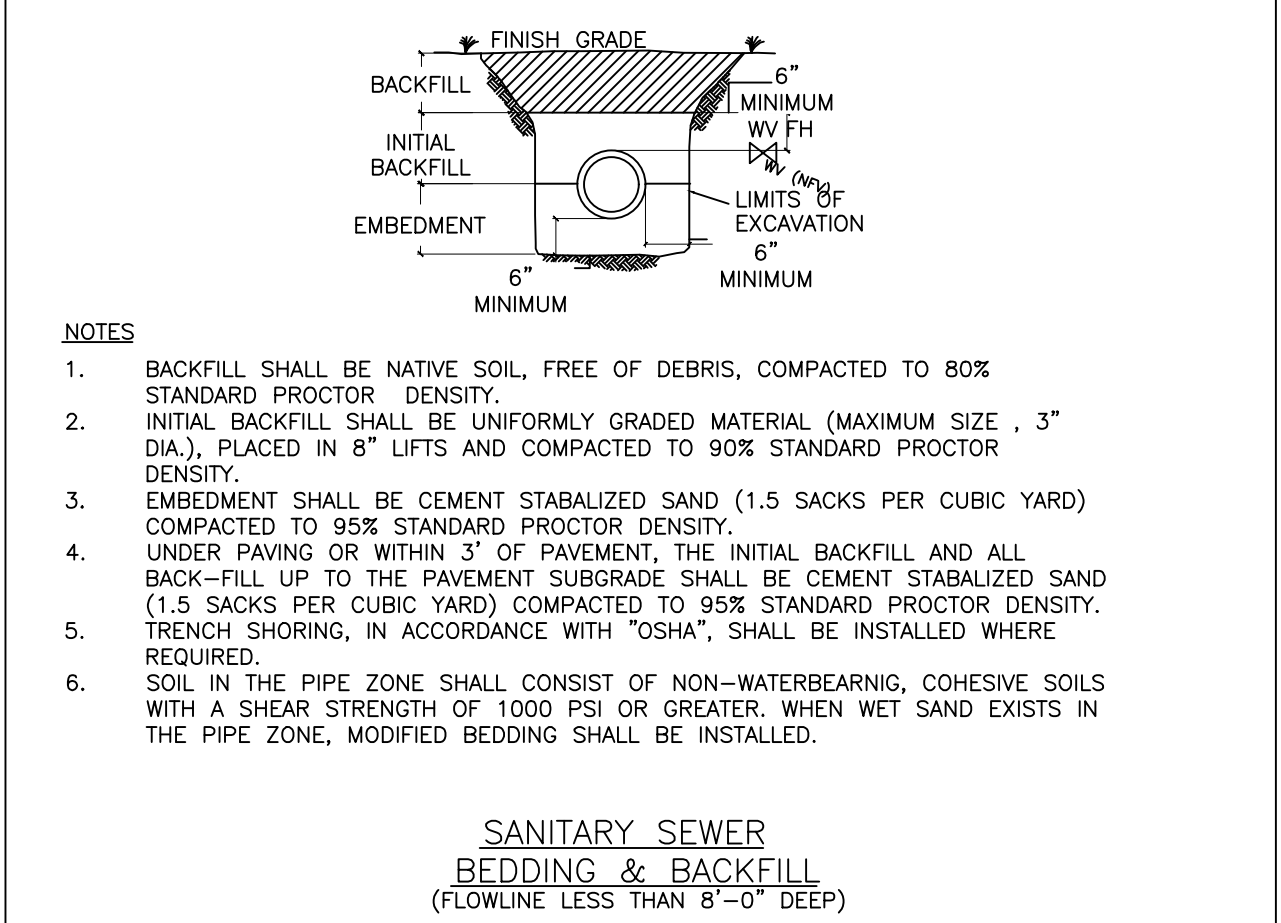
C-4

FOR CONSTRUCTION



BUILDING # 1 = 2,903 SQ.FT.
BUILDING # 2 = 11,880 SQ.FT.
PARKING LOT = 47,149 SQ.FT.

TOTAL IMPERVIOUS COVER = 61,932 SQ.FT.



- NOTES:
1. BACKFILL SHALL BE NATIVE SOIL, FREE OF DEBRIS, COMPACTED TO 80% STANDARD PROCTOR DENSITY.
2. INITIAL BACKFILL SHALL BE UNIFORMLY GRADED MATERIAL (MAXIMUM SIZE 3" DIA), PLACED IN 8" LIFTS AND COMPACTED TO 90% STANDARD PROCTOR DENSITY.
3. EMBEDMENT SHALL BE CEMENT STABILIZED SAND (1.5 SACKS PER CUBIC YARD) COMPACTED TO 95% STANDARD PROCTOR DENSITY.
4. UNDER PAVING OR WITHIN 3' OF PAVEMENT, THE INITIAL BACKFILL AND ALL BACK-FILL UP TO THE PAVEMENT SUBGRADE SHALL BE CEMENT STABILIZED SAND (1.5 SACKS PER CUBIC YARD) COMPACTED TO 95% STANDARD PROCTOR DENSITY.
5. TRENCH SHORING, IN ACCORDANCE WITH OSHA, SHALL BE INSTALLED WHERE REQUIRED.
6. SOIL IN THE PIPE ZONE SHALL CONSIST OF NON-WATERBEARING, COHESIVE SOILS WITH A SHEAR STRENGTH OF 1000 PSI OR GREATER. WHEN WET SAND EXISTS IN THE PIPE ZONE, MODIFIED BEDDING SHALL BE INSTALLED.

- GENERAL NOTES:
1. THE GENERAL CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINTS OF SERVICE CONNECTION AT EXISTING SITE UTILITIES. REFER TO THE BUILDING ELECTRICAL AND PLUMBING SHEETS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
2. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED BY GENERAL CONTRACTOR DETERMINED FOR THE MOST ECONOMIC INSTALLATION.
3. CONNECTIONS AND PROPOSED UTILITIES ARE SHOWN WHERE INTENDED TO BE CONSTRUCTED. ANY MOVEMENT OF THESE FACILITIES SHALL BE APPROVED BY THE DISTRICT ENGINEER PRIOR TO CONSTRUCTION.
4. SUBCONTRACTOR TO PROVIDE SEPARATE COST TO FURNISH AND INSTALL ONE SAMPLE WELL AS SHOWN AND TO INSTALL SAME AS REQUIRED BY LOCAL CODES.
5. GENERAL CONTRACTOR SHALL SUPPLY ALL HOSE CONNECTIONS AND OTHER INSTALLATIONS, WHERE AIR GAP CANNOT BE ASSURED, WITH A CITY OF JURISDICTION APPROVED BACKFLOW PREVENTATIVE.
6. LANDSCAPING IRRIGATION SLEEVES TO BE SCHEDULE 40 PVC PIPING OF SIZES SHOWN ON PLAN, STUB UP ABOVE GRADE AND COVER ENDS.
7. BACK FLOW PREVENTORS ARE TO BE TESTED ANNUALLY BY OWNER.

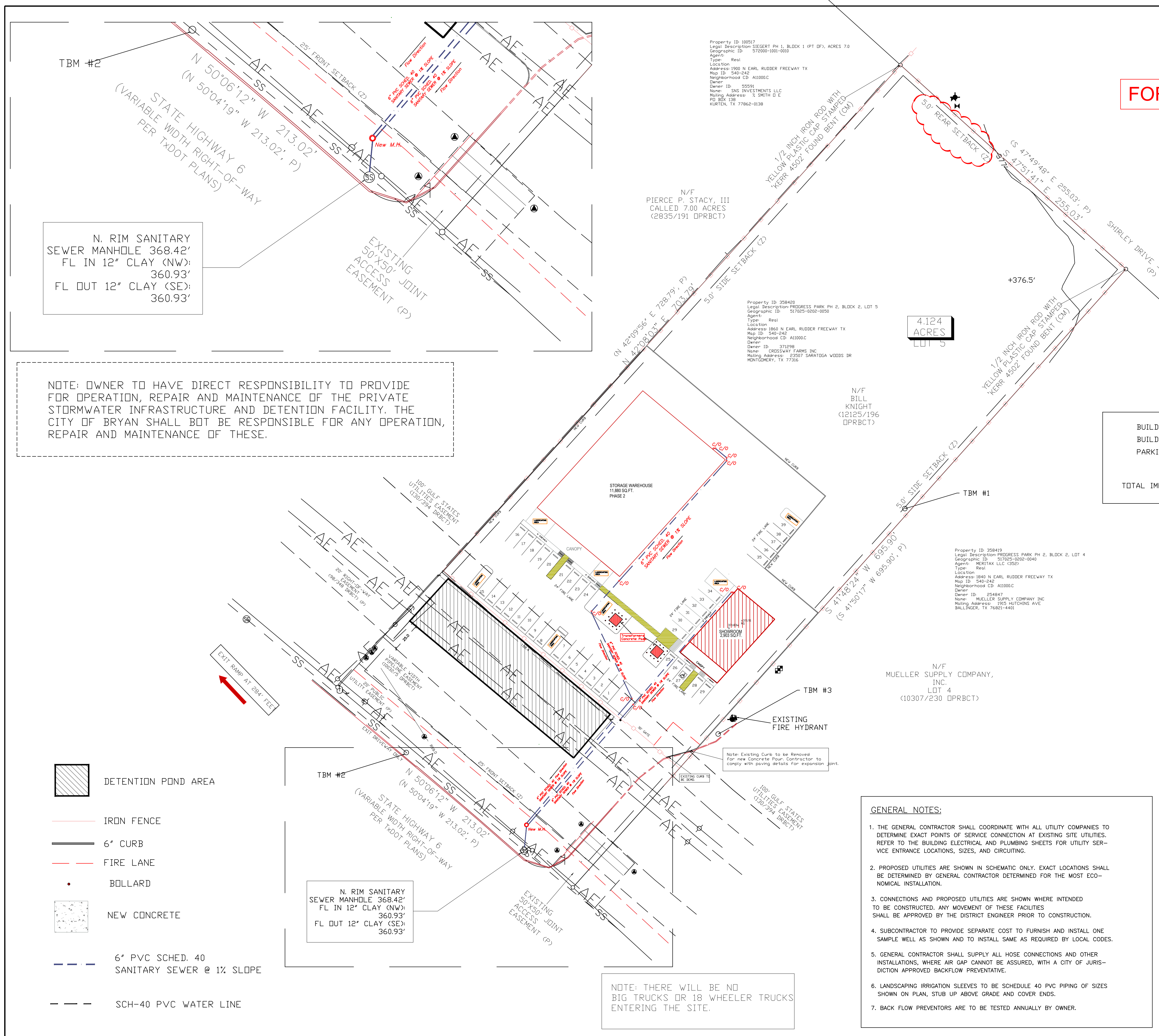
NOTE: THERE WILL BE NO BIG TRUCKS OR 18 WHEELER TRUCKS ENTERING THE SITE.

N. RIM SANITARY SEWER MANHOLE 368.42' FL IN 12" CLAY (NW): 360.93' FL OUT 12" CLAY (SE): 360.93'

NOTE: OWNER TO HAVE DIRECT RESPONSIBILITY TO PROVIDE FOR OPERATION, REPAIR AND MAINTENANCE OF THE PRIVATE STORMWATER INFRASTRUCTURE AND DETENTION FACILITY. THE CITY OF BRYAN SHALL NOT BE RESPONSIBLE FOR ANY OPERATION, REPAIR AND MAINTENANCE OF THESE.

- LEGEND:
- DETENTION POND AREA
- IRON FENCE
- 6" CURB
- FIRE LANE
- BOLLARD
- NEW CONCRETE
- 6" PVC SCHED. 40 SANITARY SEWER @ 1% SLOPE
- SCH-40 PVC WATER LINE

N. RIM SANITARY SEWER MANHOLE 368.42' FL IN 12" CLAY (NW): 360.93' FL OUT 12" CLAY (SE): 360.93'



Property ID: 10057
Legal Description: SECERT PH 1, BLOCK 1 (PT OF), ACRES 7.0
Geographic ID: 572000-1001-0010
Agent:
Type: Real
Location:
Address: 1900 N EARL RUDDER FREEWAY TX
Map ID: 340-042
Neighborhood CD: A1000C
Owner:
Dwner ID: 30599
Name: SNG INVESTMENTS LLC
Mailing Address: % SMITH D E
PO BOX 128
KURTEN, TX 77662-0128

Property ID: 958420
Legal Description: PROGRESS PARK PH 2, BLOCK 2, LOT 5
Geographic ID: 517025-0002-0050
Agent:
Type: Real
Location:
Address: 1865 N EARL RUDDER FREEWAY TX
Map ID: 340-042
Neighborhood CD: A1000C
Owner:
Dwner ID: 37298
Name: CROSSWAY FARMS INC
Mailing Address: 23507 SARATOGA WOODS DR
MONTGOMERY, TX 77316

Property ID: 258419
Legal Description: PROGRESS PARK PH 2, BLOCK 2, LOT 4
Geographic ID: 517025-0002-0040
Agent: MERTAX LLC (259)
Type: Real
Location:
Address: 1840 N EARL RUDDER FREEWAY TX
Map ID: 340-042
Neighborhood CD: A1000C
Owner:
Dwner ID: 254847
Name: MUELLER SUPPLY COMPANY INC
Mailing Address: 1915 HUTCHINS AVE
BALLINGER, TX 76801-4403

N/F MUELLER SUPPLY COMPANY, INC. LOT 4 (10307/230 OPRBCT)

N/F PIERCE P. STACY, III CALLED 7.00 ACRES (2835/191 OPRBCT)

N/F BILL KNIGHT (12125/196 OPRBCT)

4.124 ACRES LOT 5

TBM #1

TBM #3

STATE HIGHWAY 6 (VARIABLE WIDTH RIGHT-OF-WAY PER TxDOT PLANS)
N 50°06'12" W 213.02'
(N 50°04'19" W 213.02', P)

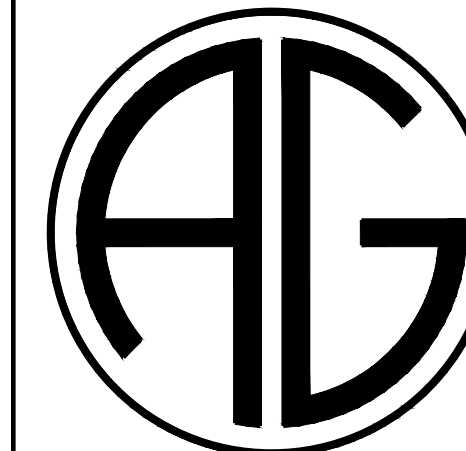
STATE HIGHWAY 6 (VARIABLE WIDTH RIGHT-OF-WAY PER TxDOT PLANS)
N 50°06'12" W 213.02'
(N 50°04'19" W 213.02', P)

100' GULF STATES UTILITIES EASEMENT (150/1254 DRBCT)

100' GULF STATES UTILITIES EASEMENT (150/1254 DRBCT)

Note: Existing Curb to be Removed for new Concrete Pour. Contractor to comply with paving details for expansion joint.

100' GULF STATES UTILITIES EASEMENT (150/1254 DRBCT)



ALVARADO GROUP, LLC

7015 W. Tidwell Rd. G110
Houston, Tx 77092

alvaradogroup12@gmail.com

DRAWN BY:

MIGUEL ALVARADO

SEAL:



Diego Lamacchia
18/APRIL/2023

Diego Lamacchia, PE, PMP
TBPE Firm - 18611

CROSSWAY AUTO CENTER

1860 N. EARL RUDDER FRWY. BUILDING 1
BRYAN TX. 77808

PROJECT NAME:

PLOT DATE:

04/18/2023

SCALE:

1:40

JOB NO:

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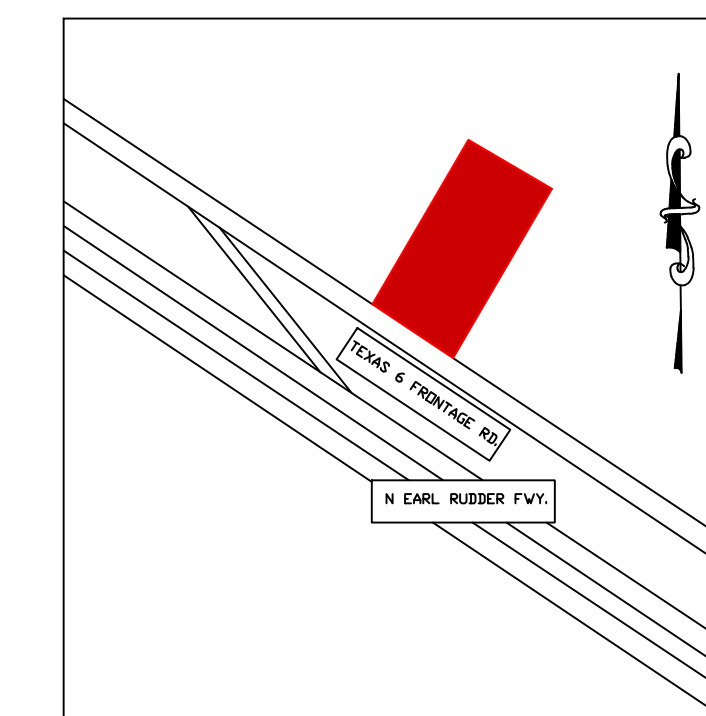
SHEET NAME:

PUBLIC
UTILITY PLAN

SHEET #:

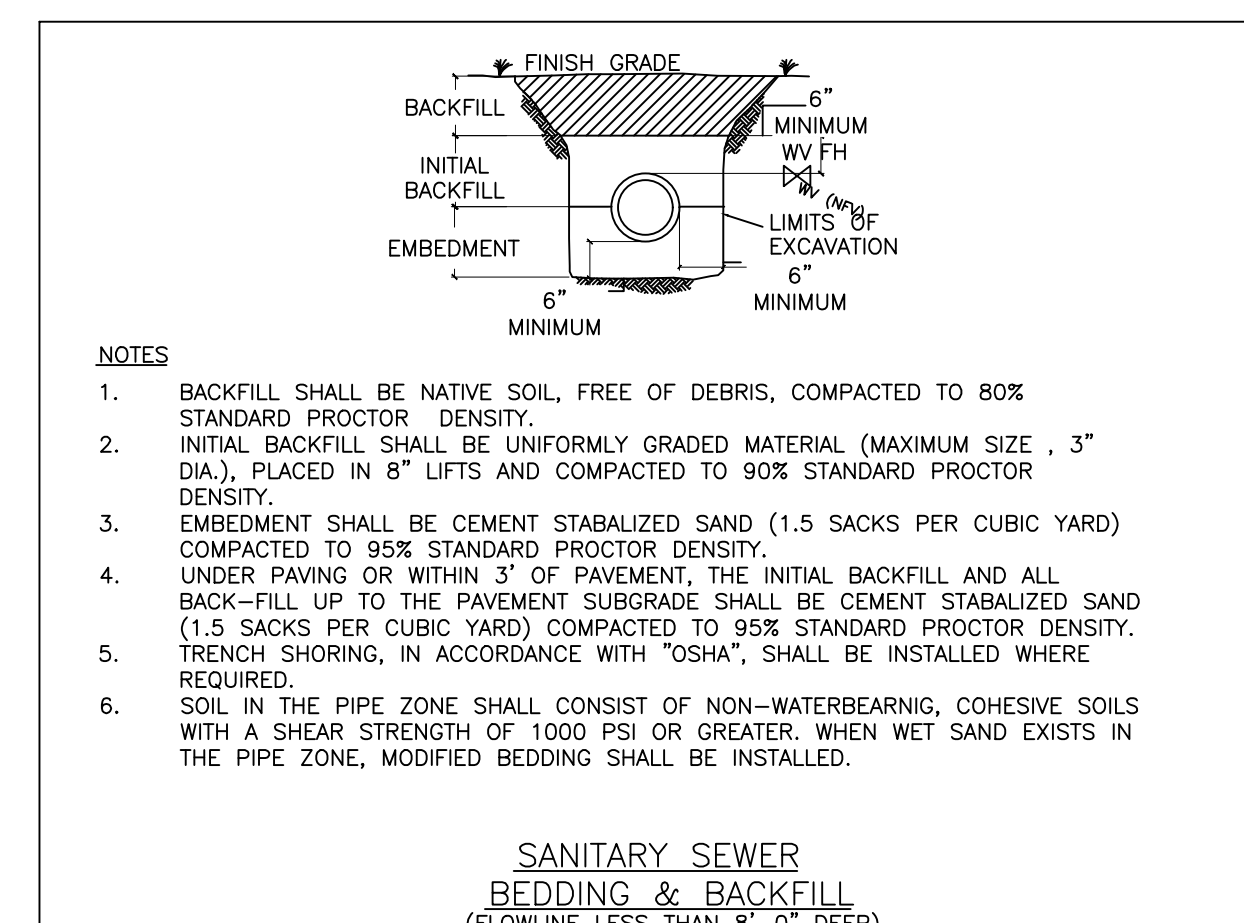
C-5

FOR CONSTRUCTION



BUILDING # 1 = 2,903 SQ.FT.
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PARKING LOT = 47,149 SQ.FT.

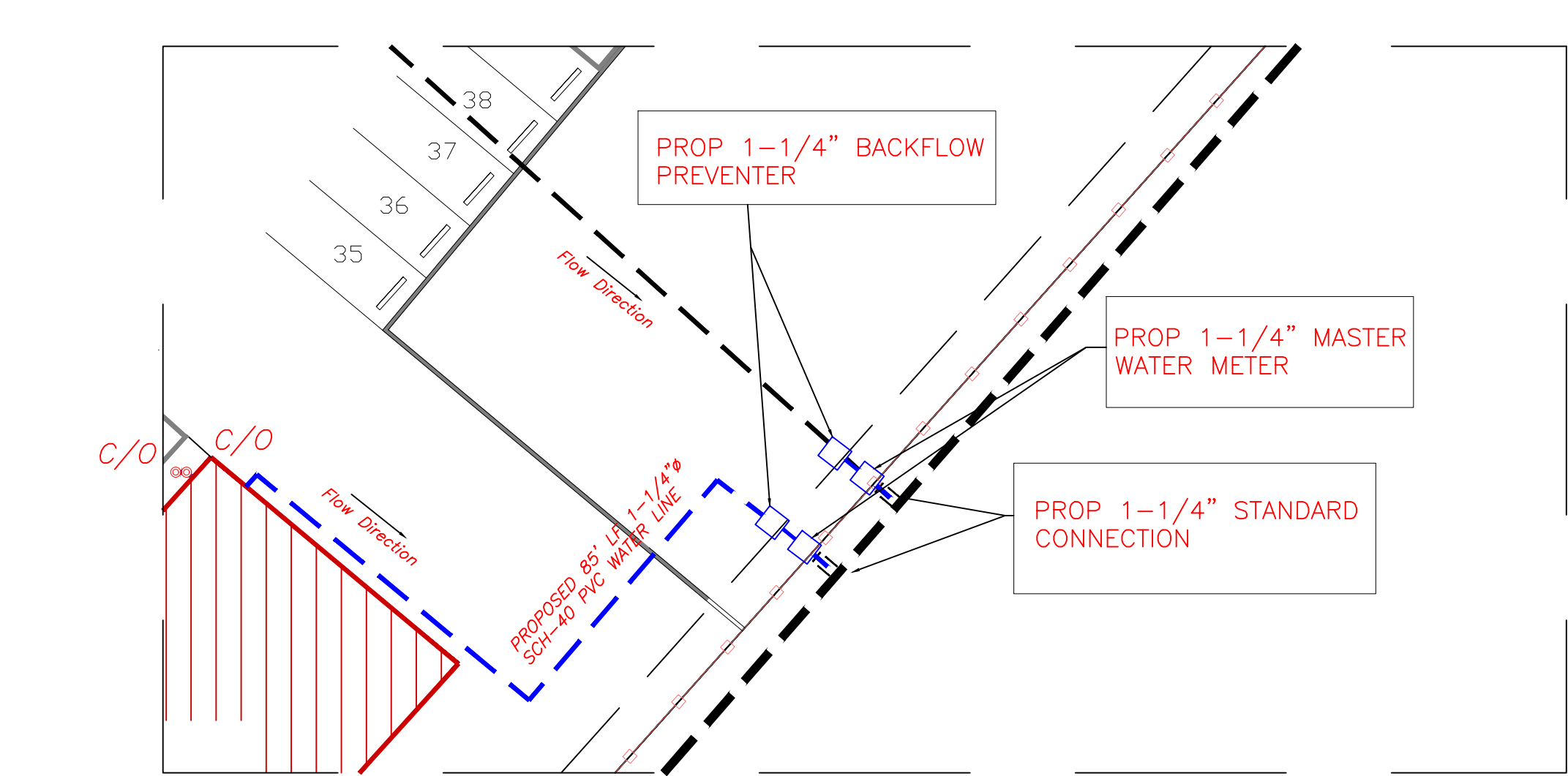
TOTAL IMPERVIOUS COVER = 61,932 SQ.FT.



- PLUMBING WATER CONSERVATION NOTES**
- (B) THE WATER SAVING PERFORMANCE STANDARD FOR A PLUMBING FIXTURE ARE THOSE ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI), CURRENT REVISION, OR THE FOLLOWING STANDARDS, WHICHEVER ARE MORE RESTRICTIVE.
- (1) THE MAXIMUM FLOW FROM A SINK OR LSVATORY FAUCET OR A FAUCET AERATOR SHALL NOT EXCEED 2.20 GALLON OF WATER PER MINUTE AT A PRESSURE OF 80 POUNDS PER SQUARE INCH WHEN TESTED IN ACCORDANCE WITH AMSI TESTING PROCEDURE.
 - (2) THE MAXIMUM FLOW FROM A SHOWER HEAD SHALL NOT EXCEED 2.75 GALLONS OF WATER PER MINUTE AT A CONSTANT PRESSURE EQUAL TO 80 POUND PER SQUARE INCH WHEN TESTED IN ACCORDANCE WITH AMSI TESTING PROCEDURES.
 - (3) THE MAXIMUM VOLUME OF WATER PER FLUSH FROM A URINAL AND THE ASSOCIATED FLUSH VALVE, IF ANY, SHALL NOT EXCEED AN AVERAGE OF ONE GALLON WHEN TESTED IN ACCORDANCE WITH AMSI TESTING PROCEDURES.
 - (4) THE MAXIMUM VOLUME OF WATER PER FLUSH FROM A TOILET SHALL NOT EXCEED AN AVERAGE OF 1.60 GALLON WHEN TESTED IN ACCORDANCE WITH AMSI TESTING PROCEDURES.
 - (5) THE MAXIMUM VOLUME OF WATER PER FLUSH FROM A WALL MOUNTED TOILET THAT EMPLOY A FLUSHOMETER VALVE SHALL NOT EXCEED AN AVERAGE OF 2.00 GALLONS WHEN TESTED IN ACCORDANCE WITH AMSI TESTING PROCEDURES.
 - (6) ALL DRINKING WATER FOUNTAINS SHALL BE OPERATED BY A SELF CLOSING VALVE.

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- FIRE LANE
- BOLLARD
- NEW CONCRETE
- 6" PVC SCHED. 40 SANITARY SEWER @ 1% SLOPE
- SCH-40 PVC WATER LINE

N. RIM SANITARY SEWER MANHOLE 368.42' FL IN 12" CLAY (NW) 360.93' FL OUT 12" CLAY (SE) 360.93'

Property ID: 10057
Legal Description: SECERT PH 1, BLOCK 1 (PT OF), ACRES 7.0
Geographic ID: 572000-1001-0010
Agent:
Type: Real
Location:
Address: 1900 N EARL RUDDER FREEWAY TX
Map ID: 340-042
Neighborhood CD: A1000C
Owner:
Owner ID: 30591
Name: SNG INVESTMENTS LLC
Mailing Address: % SMITH D E
PO BOX 128
KURTEN, TX 77862-0128

Property ID: 058420
Legal Description: PROGRESS PARK PH 2, BLOCK 2, LOT 5
Geographic ID: 517025-0002-0050
Agent:
Type: Real
Location:
Address: 1845 N EARL RUDDER FREEWAY TX
Map ID: 340-042
Neighborhood CD: A1000C
Owner:
Owner ID: 371298
Name: CROSSWAY FARMS INC
Mailing Address: 23507 SARATOGA WOODS DR
MONTGOMERY, TX 77316

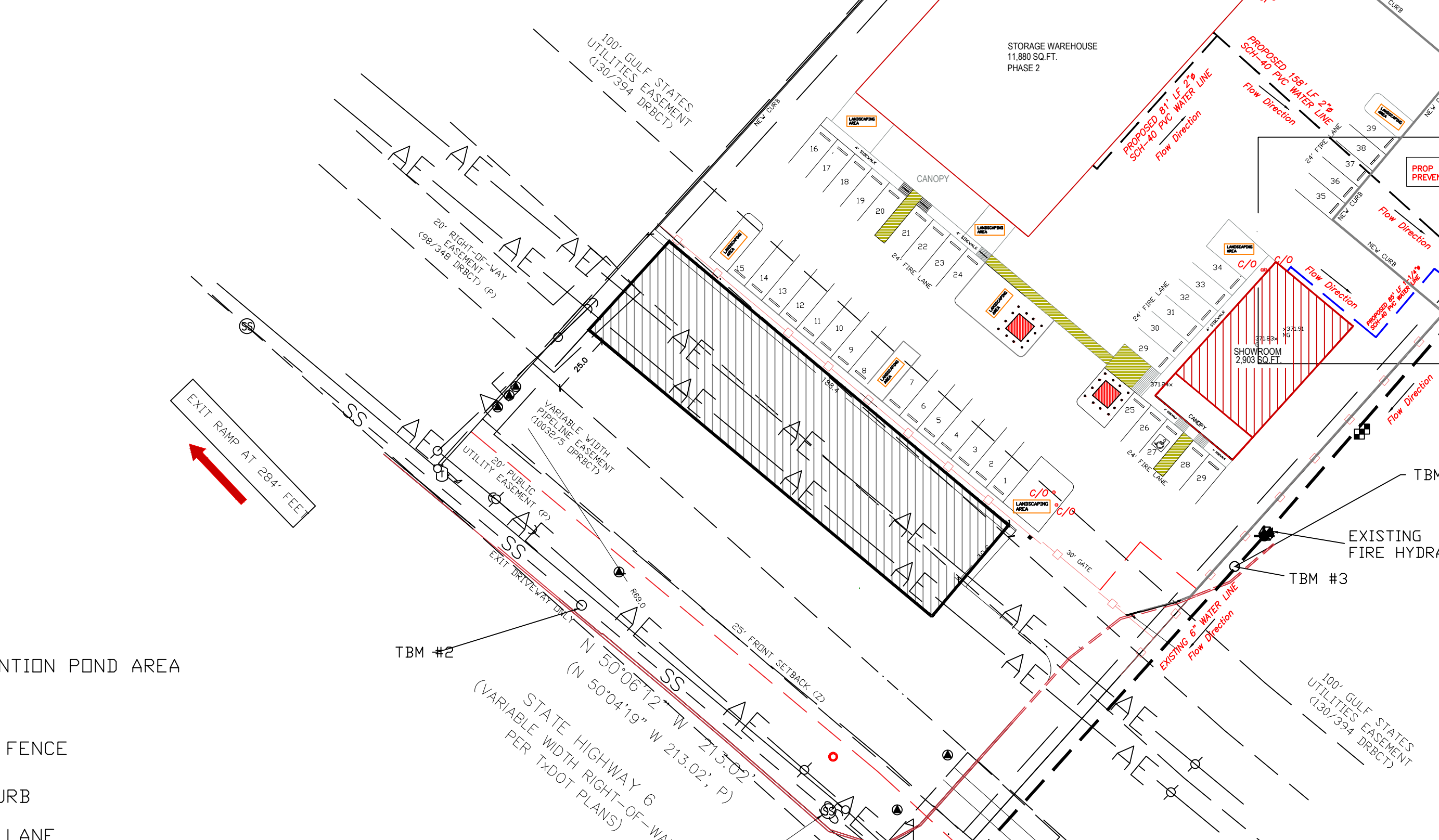
Property ID: 058419
Legal Description: PROGRESS PARK PH 2, BLOCK 2, LOT 4
Geographic ID: 517025-0002-0040
Agent: MENTAX LLC (250)
Type: Real
Location:
Address: 1840 N EARL RUDDER FREEWAY TX
Map ID: 340-042
Neighborhood CD: A1000C
Owner:
Owner ID: 254847
Name: MUELLER SUPPLY COMPANY INC
Mailing Address: 1915 HUTCHINS AVE
BALLINGER, TX 76801-4403

N/F MUELLER SUPPLY COMPANY, INC. LOT 4 (10307/230 OPRBCT)

N/F PIERCE P. STACY, III CALLED 7.00 ACRES (2835/191 OPRBCT)

N/F BILL KNIGHT (12125/196 OPRBCT)

4.124 ACRES LOT 5





ALVARADO GROUP, LLC

7015 W. Tidwell Rd. G110
Houston, Tx 77092

alvaradogroup12@gmail.com

DRAWN BY:

MIGUEL ALVARADO

SEAL:



Diego Lamacchia
18/APRIL/2023

Diego Lamacchia, PE, PMP
TBPE Firm - 18611

CROSSWAY AUTO CENTER

1860 N. EARL RUDDER FRWY. BUILDING 1
BRYAN TX. 77808

PROJECT NAME:

PLOT DATE:

04/18/2023

SCALE:

1:40

JOB No:

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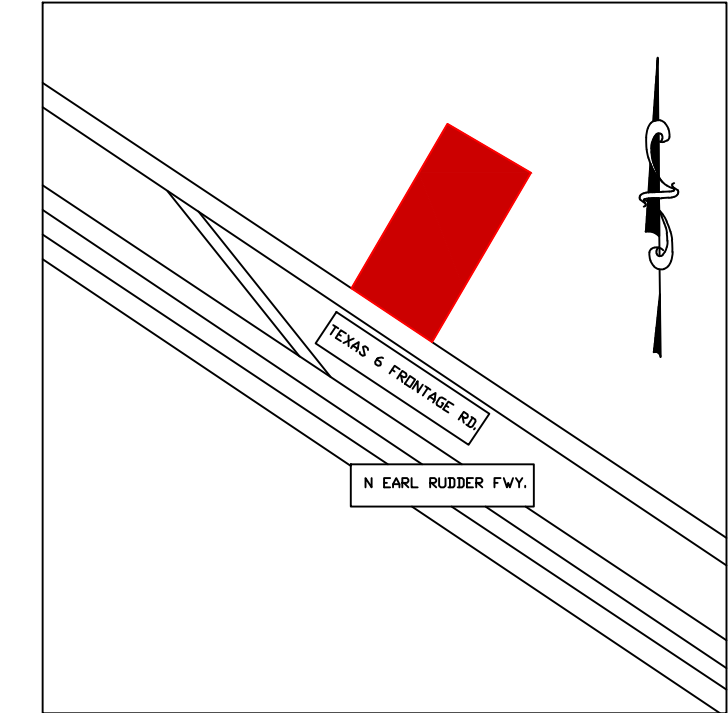
SHEET NAME:

DRAINAGE &
GRADING PLAN

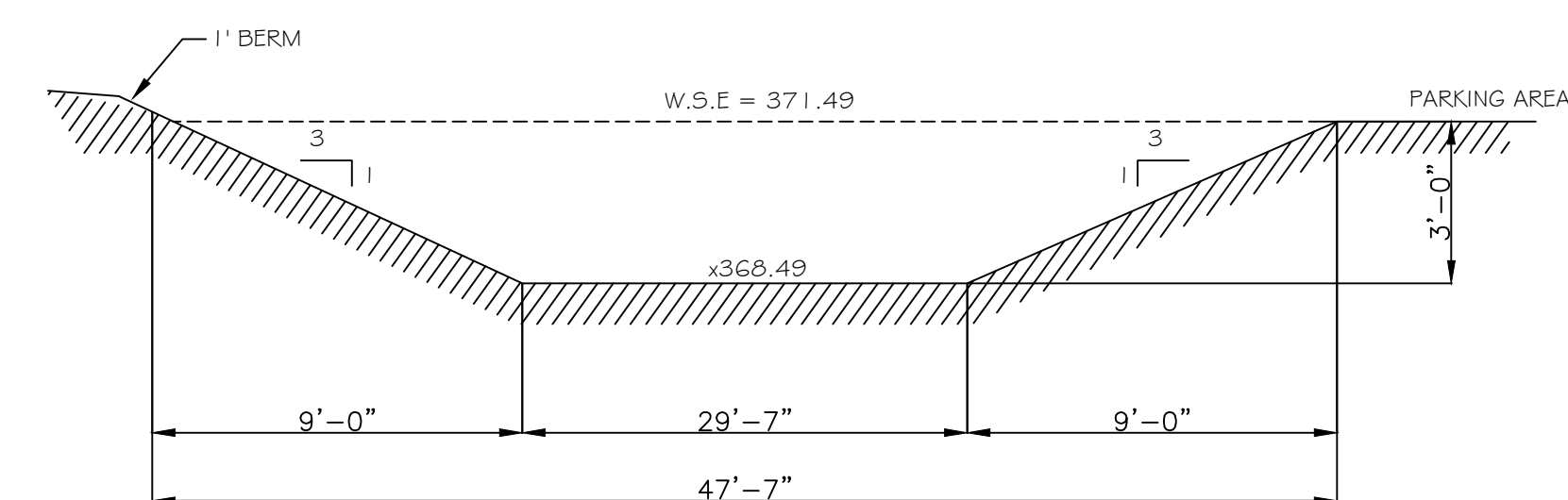
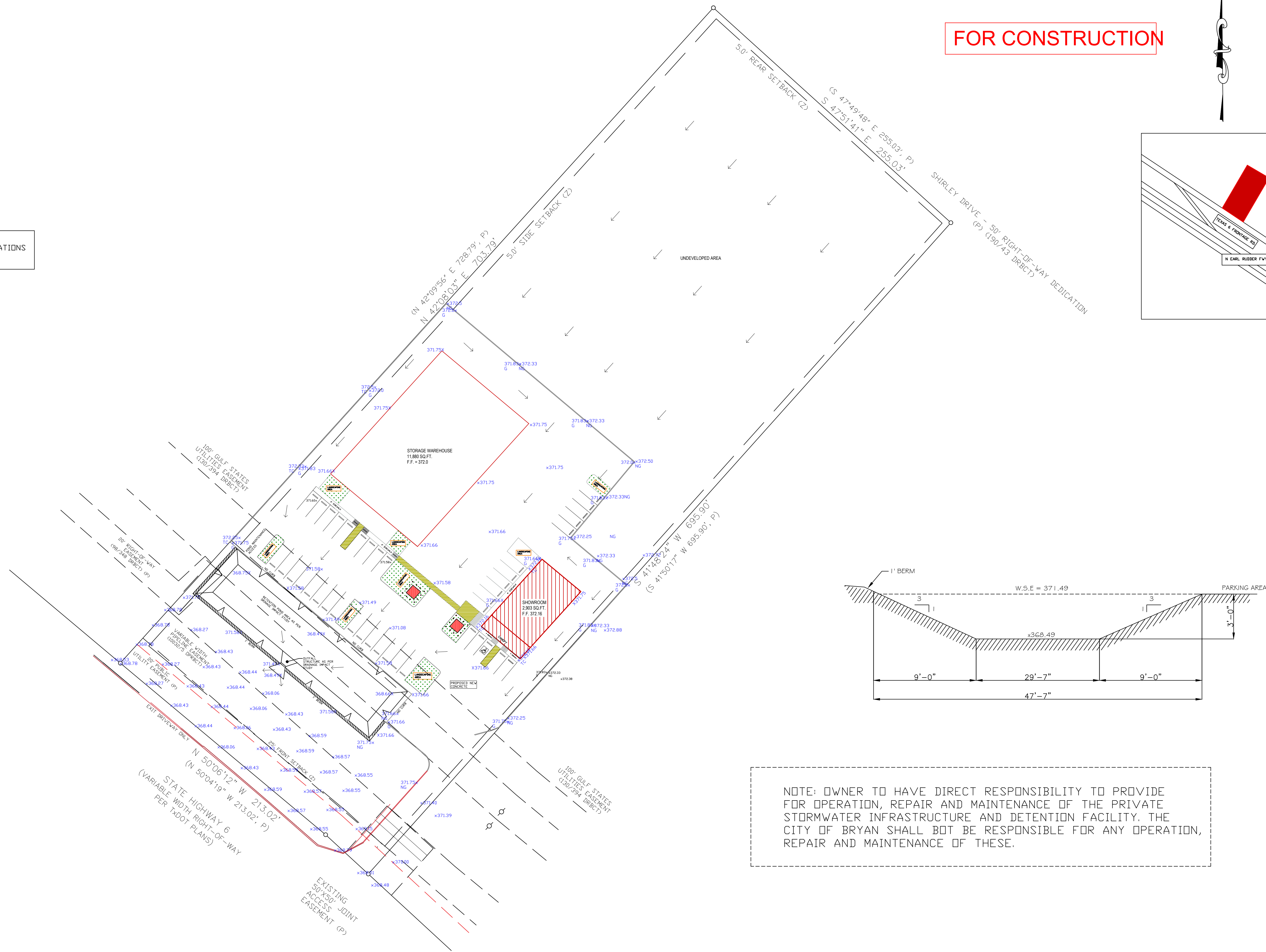
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FOR CONSTRUCTION

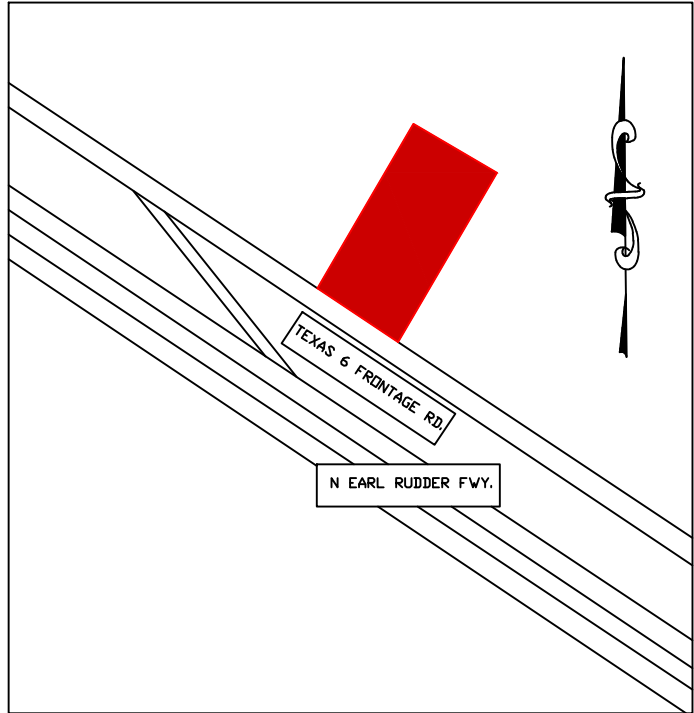


x371.75 NEW ELEVATIONS

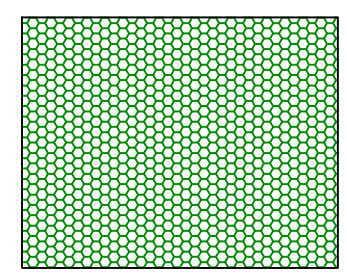


NOTE: OWNER TO HAVE DIRECT RESPONSIBILITY TO PROVIDE FOR OPERATION, REPAIR AND MAINTENANCE OF THE PRIVATE STORMWATER INFRASTRUCTURE AND DETENTION FACILITY. THE CITY OF BRYAN SHALL NOT BE RESPONSIBLE FOR ANY OPERATION, REPAIR AND MAINTENANCE OF THESE.

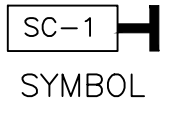
FOR CONSTRUCTION



REINFORCED FILTER FABRIC BARRIER



STABILIZED CONSTRUCTION ACCESS



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PROJECT NAME: CROSSWAY AUTO CENTER

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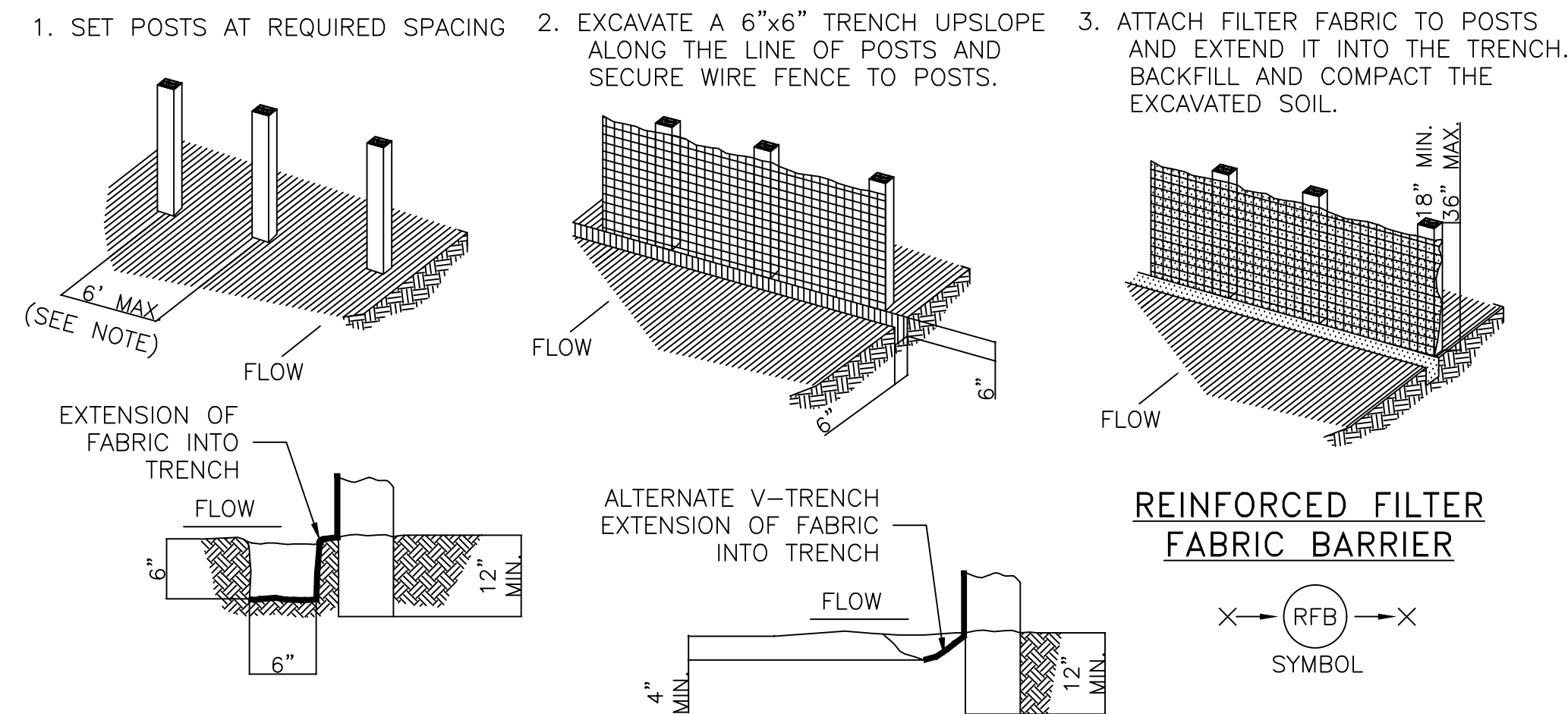
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SHEET NAME:

SWPPP

SHEET #:

D-2

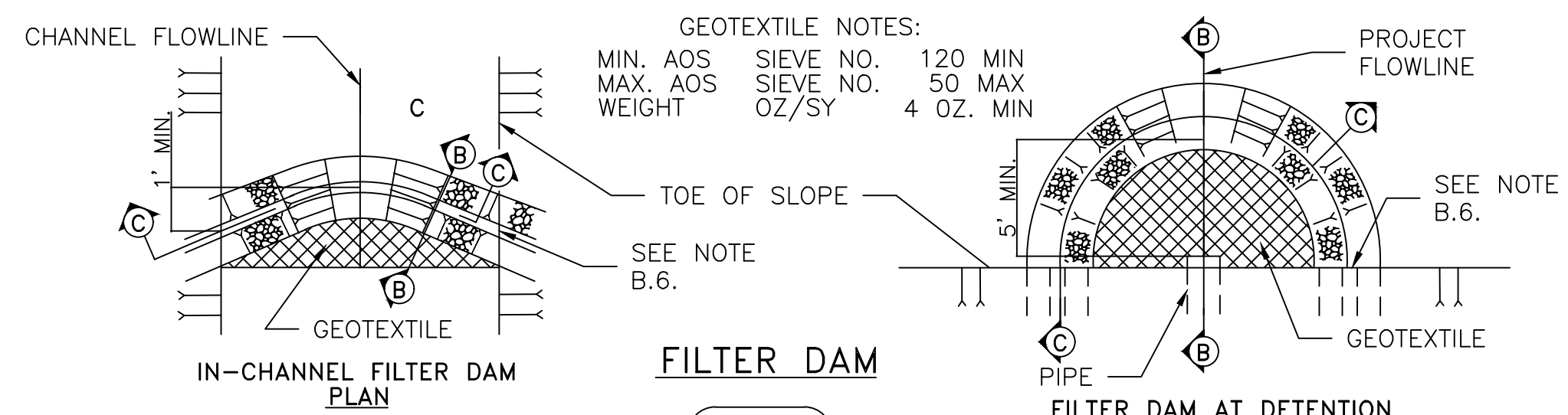


REINFORCED FILTER FABRIC BARRIER

(RFB) SYMBOL

GENERAL NOTES:

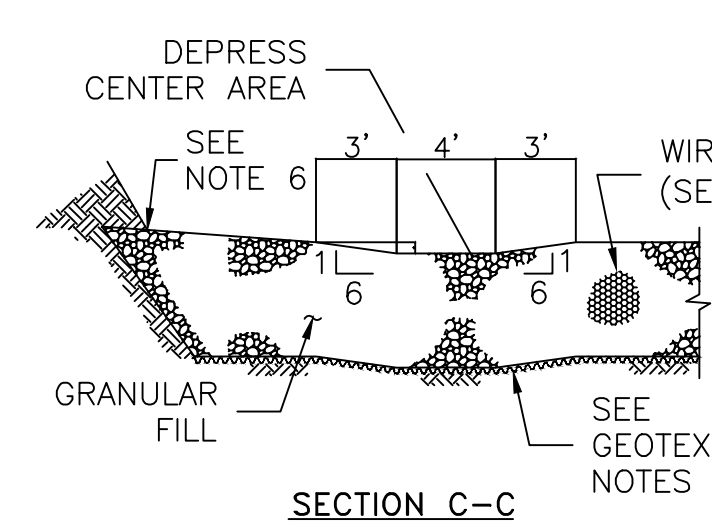
1. SECURELY FASTEN MESH FENCING TO POSTS WITH STAPLES OR TIE WIRES.
2. SECURELY FASTEN FILTER FABRIC TO MESH FENCING.
3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER, OVERLAP 6 INCHES AT A POST, FOLD TOGETHER, AND ATTACH TO A POST.
4. REMOVE SEDIMENT DEPOSITS WHEN SILT REACHES ONE-THIRD OF THE HEIGHT OF THE FENCE IN DEPTH.



FILTER DAM

(RFD-TYPE) SYMBOL

(IPB-I) SYMBOL



SECTION C-C

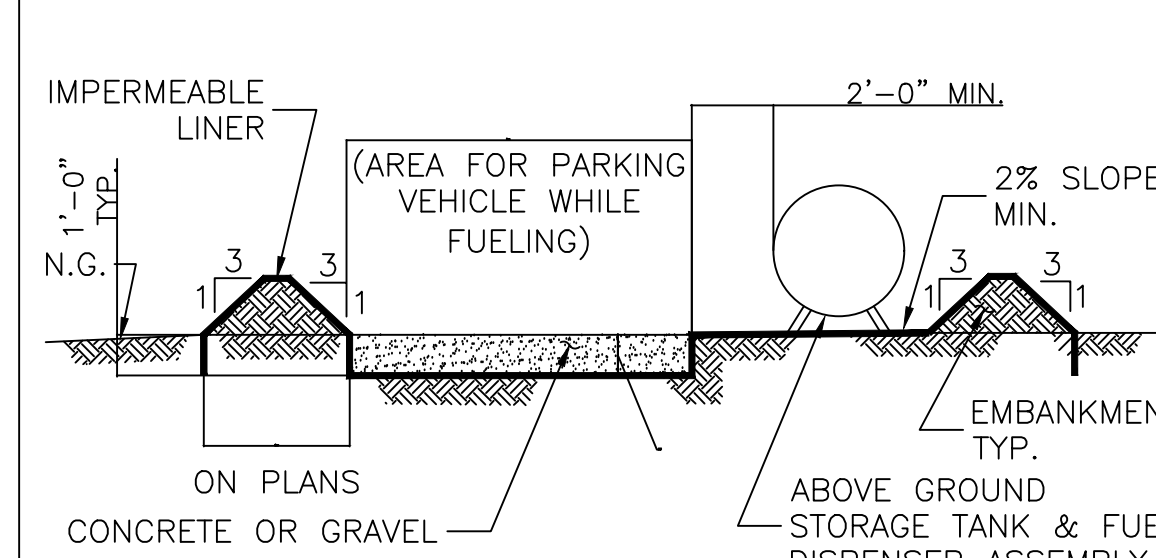
SECTION B-B

A. TYPES OF FILTER DAMS

1. TYPE 1 (NON-REINFORCED)
 - a. HEIGHT - 18-24 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM)
 - c. SLOPES - 2:1 (MAXIMUM).
2. TYPE 2 (REINFORCED)
 - a. HEIGHT - 18-36 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
 - c. SLOPES - 2:1 (MAXIMUM).
3. TYPE 3 (REINFORCED)
 - a. HEIGHT - 36-48 INCHES. MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
 - c. SLOPES - 3:1 (MAXIMUM).
4. TYPE 4 (GABION)
 - a. HEIGHT - 30 INCHES (MINIMUM). MEASURE VERTICALLY FROM EXISTING GROUND TO TOP OF FILTER DAM.
 - b. TOP WIDTH - 2 FEET (MINIMUM).
5. TYPE 5. AS SHOWN ON THE PLANS.

B. CONSTRUCT FILTER DAMS ACCORDING TO THE FOLLOWING CRITERIA UNLESS SHOWN OTHERWISE ON THE PLANS.

1. TYPE 2 AND 3 FILTER DAMS: SECURE WITH 20 GAUGE GALVANIZED WOVEN WIRE MESH WITH 1 INCH DIAMETER HEXAGONAL OPENINGS.
2. PLACE GRANULAR FILL ON THE WIRE MESH TO HEIGHT AND SLOPES SHOWN ON PLANS OR AS SPECIFIED BY THE ENGINEER.
 - a. 3-5 INCHES FOR ROCK FILTER DAM TYPES 1, 2 AND 4.
 - b. 4-8 INCHES FOR ROCK FILTER DAM TYPE REFER TO GRANULAR FILL IN SPECIFICATION SECTION No. 02378 RIPRAP AND GRANULAR FILL.
3. FOLD WIRE MESH AT UPSTREAM SIDE OVER GRANULAR FILL AND TIGHTLY SECURED TO ITSELF ON THE DOWNSTREAM SIDE USING WIRE TIES OR HOG RINGS.
4. IN STREAMS: SECURE OR STAKE MESH TO STREAM BED PRIOR TO AGGREGATE PLACEMENT.
5. SEE HCFD SPECIFICATION SECTION NO. 02364-FILTER DAMS.
6. EMBED ONE FOOT MINIMUM INTO SLOPE AND RAISE ONE FOOT HIGHER THAN CENTER OF DEPRESSED AREA AT SLOPE.

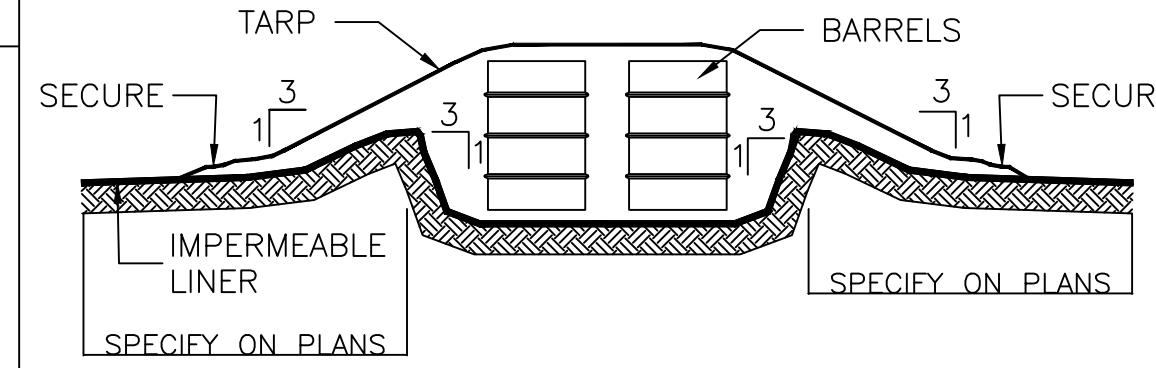


ABOVE GROUND TEMP. VEHICLE & EQUIPMENT FUELING AREA WITH TANK

(TFA) SYMBOL

GENERAL NOTES:

1. THE SIZE OF TANK FOUNDATION AREA DEPENDS ON THE SIZE OF ABOVE GROUND STORAGE TANK AND DISPENSER ASSEMBLY.
2. PROVIDE A MINIMUM SLOPE OF 2% TOWARD THE SUMP PIT.
3. INSTALL IMPERMEABLE LINER AS PER MANUFACTURER'S RECOMMENDATIONS.

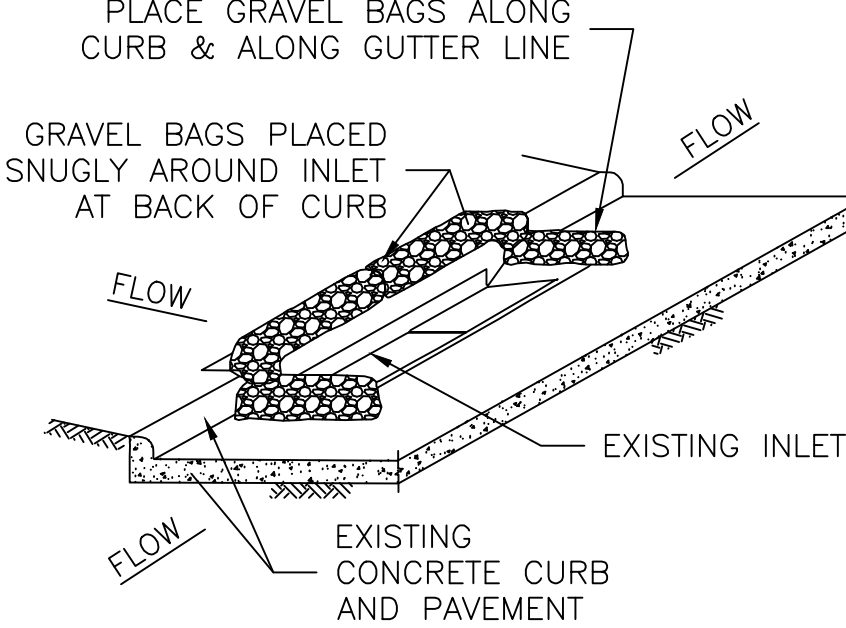


BARREL STORAGE AREA

(BSA) SYMBOL

GENERAL NOTES:

1. ALTERNATIVELY, STORE BARRELS IN AN ENCLOSED BUILDING OR SHED.
2. INSTALL IMPERMEABLE LINER AS PER MANUFACTURER'S RECOMMENDATIONS. 60 mil MINIMUM.
3. CONSTRUCT BERMED AREA WITH VOLUME GREATER THAN OR EQUAL TO 110% VOLUME OF BARRELS.

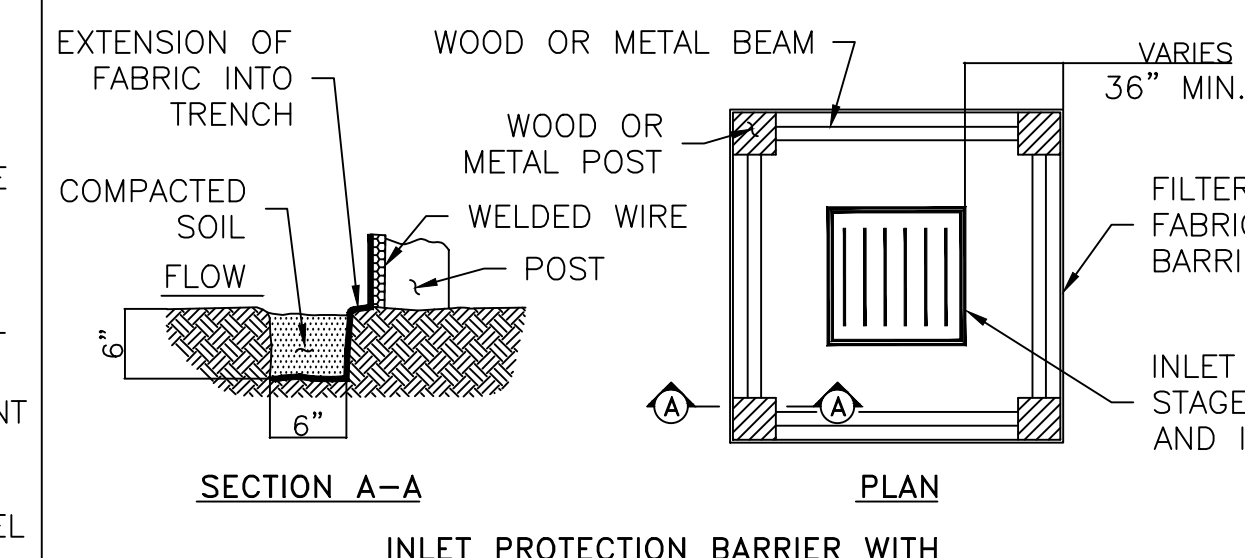


INLET PROTECTION BARRIERS FOR STAGE II INLETS

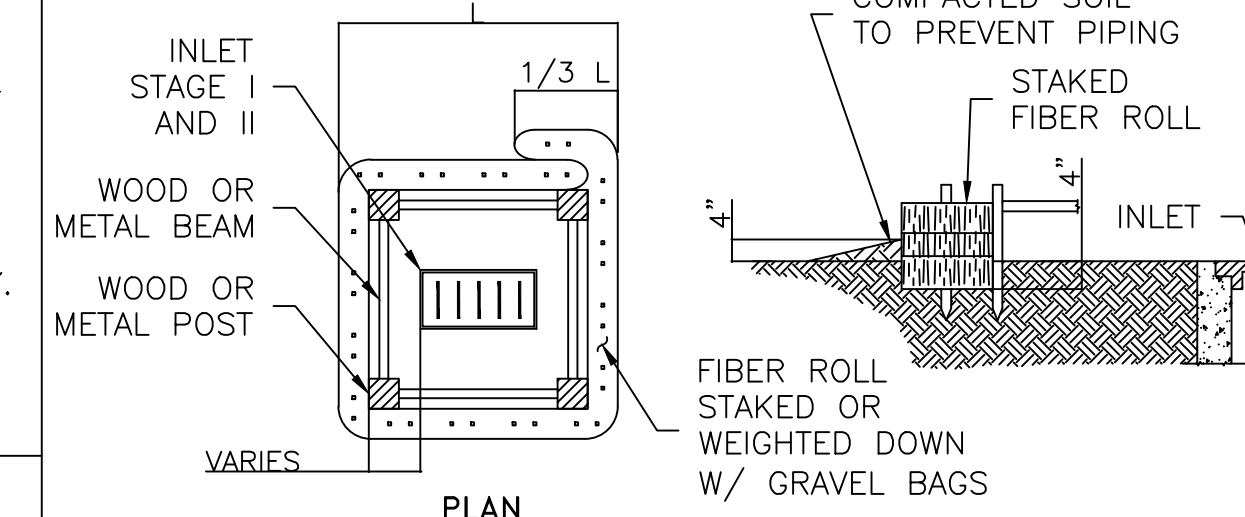
(IPB-II) SYMBOL

GENERAL NOTES:

1. REMOVE SEDIMENT DEPOSIT WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-THIRD THE HEIGHT OF THE BARRIER.
2. GRAVEL BAGS SHALL NOT BLOCK THROAT OF INLET UNLESS DIRECTED BY ENGINEER.



INLET PROTECTION BARRIER WITH REINFORCED FILTER FABRIC

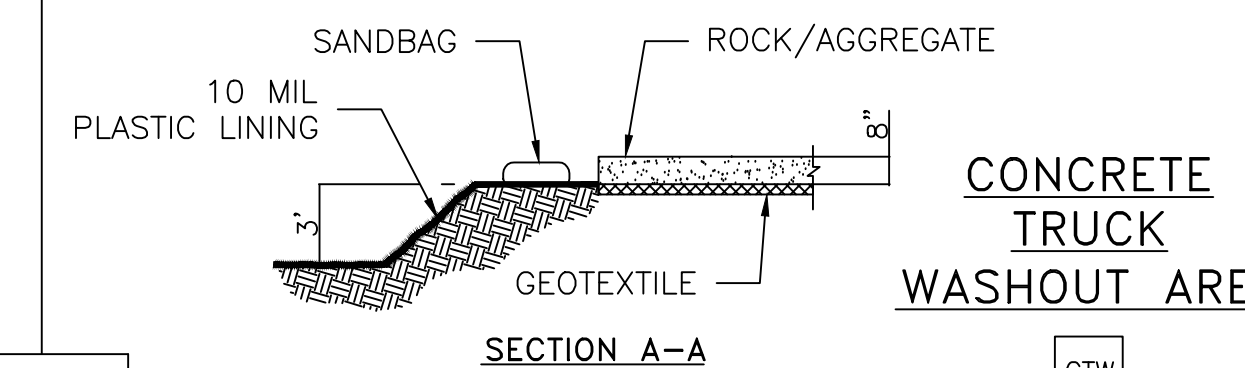


INLET PROTECTION BARRIERS FOR STAGE I INLETS

(IPB) SYMBOL

GENERAL NOTES:

1. FIBER ROLLS WILL BE UTILIZED ONLY WHEN SITE CONDITIONS DO NOT PERMIT THE USE OF FILTER FABRIC BARRIER, AND AS APPROVED BY THE ENGINEER.

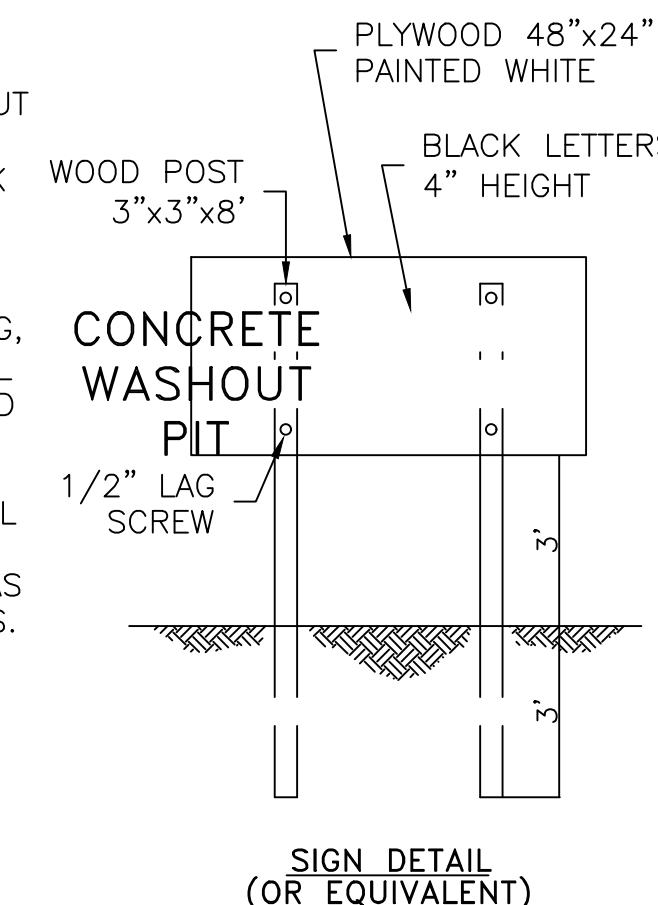


CONCRETE TRUCK WASHOUT AREA

(CTW) SYMBOL

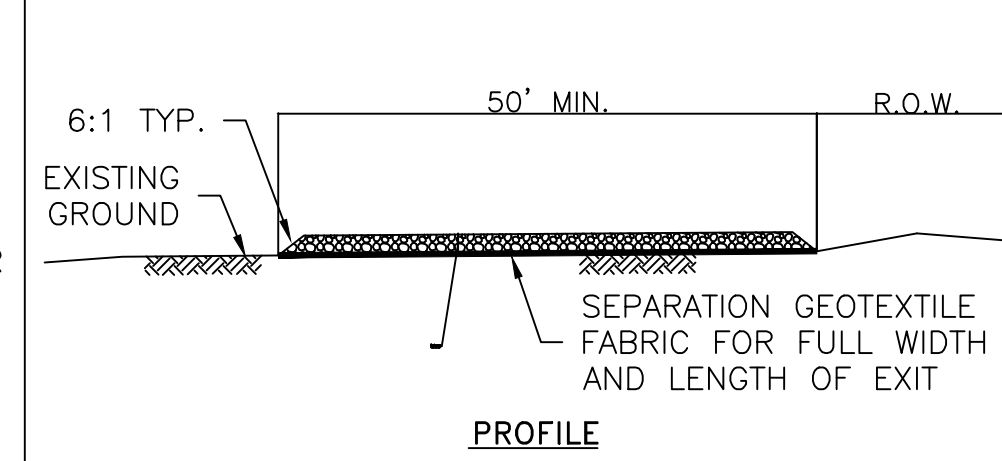
GENERAL NOTES:

1. POST A SIGN READING "CONCRETE WASHOUT PIT" NEXT TO THE PIT.
2. VERBALLY INSTRUCT THE CONCRETE TRUCK DRIVERS WHERE THE PIT IS AND TO WASHOUT THEIR TRUCKS IN THE PIT AND NOWHERE ELSE.
3. UPON THE CONCRETE SETTING UP (CURING, DRYING OUT), THE CONCRETE WASTE SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR. AFTER REMOVAL OF THE CONCRETE WASTE, THE WASHOUT PIT SHALL BE FILLED WITH CLEAN FILL MATERIAL AND COMPACTED TO IN-SITU CONDITIONS, OR AS DIRECTED BY THE PROJECT SPECIFICATIONS.
4. CONCRETE WASHOUT PITS SHALL NOT BE LOCATED DIRECTLY ADJACENT TO, NOR AT ANY TIME DRAIN INTO THE STORM SEWER SYSTEM OR ANY OTHER SWALE, DITCH, OR WATERWAY.
5. CONSTRUCT ENTRY ROAD AND BOTTOM OF WASHOUT AREA TO SUPPORT EXPECTED LOADINGS FROM TRUCKS EQUIPMENT.



CONCRETE WASHOUT PIT

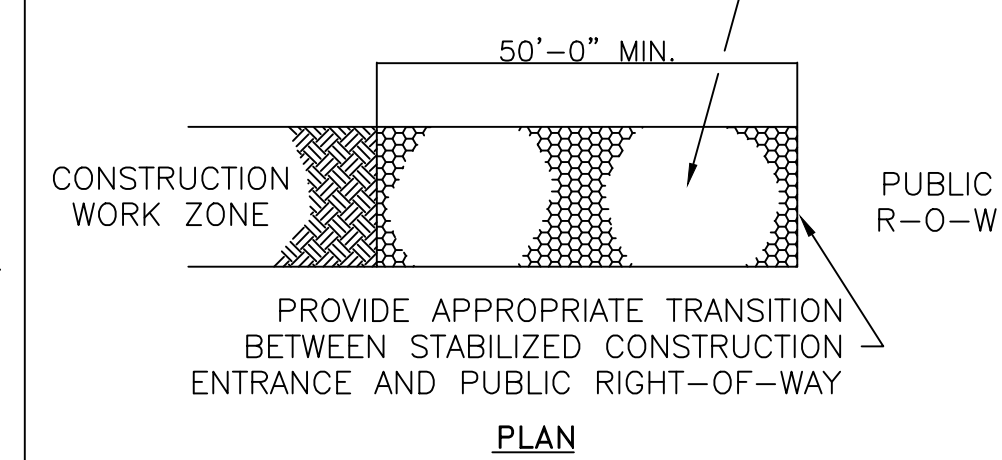
SIGN DETAIL (OR EQUIVALENT)



STABILIZED CONSTRUCTION ACCESS

(SC-1) SYMBOL

COARSE AGGREGATE - 3" TO 5" GRANULAR FILL. BULL ROCK (CRUSHED CONCRETE) IS PERMITTED



STABILIZED CONSTRUCTION ACCESS

GENERAL NOTES:

1. MINIMUM LENGTH IS AS SHOWN ON CONSTRUCTION DRAWINGS OR 50 FEET, WHICHEVER IS MORE.
2. CONSTRUCT AND MAINTAIN CONSTRUCTION EXIT WITH CONSTANT WIDTH ACROSS ITS LENGTH, INCLUDING ALL POINTS OF INGRESS OR EGRESS.
3. UNLESS SHOWN ON THE CONSTRUCTION DRAWINGS, STABILIZATION FOR OTHER AREAS WILL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION EXIT.
4. WHEN SHOWN ON THE CONSTRUCTION DRAWINGS, WIDEN OR LENGTHEN STABILIZED AREA TO ACCOMMODATE A TRUCK WASHING AREA. PROVIDE OUTLET SEDIMENT TRAP FOR THE TRUCK WASHING AREA.
5. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL COARSE AGGREGATE TO MAINTAIN THE REQUIRED DEPTH OR WHEN SURFACE BECOMES PACKED WITH MUD.
6. PERIODICALLY TURN AGGREGATE TO EXPOSE A CLEAN DRIVING SURFACE.
7. MINIMUM 14' WIDTH FOR ONE WAY TRAFFIC AND 20' WIDTH FOR TWO WAY TRAFFIC.



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DRAWN BY:

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SEAL:



powered by AG



Diego Lamacchia, PE, PMP
18/APRIL/2023

Diego Lamacchia, PE, PMP
TBPE Firm - 18611

CROSSWAY AUTO CENTER

1860 N. EARL RUDDER FRWY. BUILDING 1
BRYAN TX. 77808

PROJECT NAME:

PLOT DATE:

04/18/2023

SCALE:

1:40

JOB No:

000

SHEET NAME:

SWPPP
DETAILS

SHEET #:

D-3

STRUCTURAL STEEL:

ALL STRUCTURAL STEEL ROLLED SHAPES AND PLATES SHALL CONFORM TO ASTM A992 (50 KSI) UNLESS NOTED OTHERWISE.

ALL PIPE SHALL CONFORM TO ASTM A501 OR ASTM 153, TYPE E OR S. ALL TUBING SHALL CONFORM TO ASTM A500, GRADE B. ALL CONNECTION BOLTS FOR STRUCTURAL STEEL MEMBERS SHALL CONFORM TO A325 AND SHALL BE DESIGNED AS BEARING-TYPE CONNECTIONS TIGHTENED TO A SNUG TIGHT CONDITION AS PER THE REQUIREMENT OF THE AISC MANUAL OF STEEL 13th EDITION CONSTRUCTION. THE MIXED USE OF A307 AND A325 AN THE JOB WILL NOT BE PERMITTED. WASHERS OF A325 MATERIAL SHALL BE USED ON ALL A325 CONNECTIONS. CONNECTIONS USING A307 BOLTS WITH SLOTTED OR OVERSIZED HOLES SHALL USE WASHERS. THE USE OF SHIM PLATES IS NOT ALLOWED WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER.

GROUT UNDER COLUMN BASE PLATES SHALL BE OF A NON-SHRINK VARIETY WITH A MINIMUM COMPRESSIVE STRENGTH OF 7,000 PSI AT 28 DAYS. 100% OF VOID UNDER ALL BASE PLATES IS TO BE GROUTED. ALL BASE PLATES WITH A DIMENSION GREATER THAN 24" ARE TO HAVE TWO 1" DIAMETER GROUT HOLES. IF THE SPACE UNDER A COLUMN BASE PLATE IS LESS THAN 1/4", THAN A PRESSURE INJECTION SYSTEM SHALL BE USED.

SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR SLEEVES, CURBS, DEPRESSIONS, INSERTS, ETC. THAT ARE NOT SHOWN. ALL STRUCTURAL STEEL DETAILS AND CONNECTIONS SHALL CONFORM TO THE STANDARD OF AISC.

ALL WELDING SHALL CONFORM TO THE STANDARD OF THE AMERICAN WELDING SOCIETY AND SHALL BE PERFORMED BY CERTIFIED WELDERS WHO ARE CERTIFIED FOR THE POSITION OF WELD WHICH THEY ARE PERFORMING. ALL WELDS SHALL BE WITH 70 KSI RODS.

ALL FILLET WELDS SHALL BE A MINIMUM AS REQUIRED BY AISC TABLE J2.4 BUT NOT LESS THAN 3/16" UNLESS OTHERWISE NOTICED, WELDS SHALL BE WELDED ALL AROUND ON ALL ACCESSIBLE SIDES.

ALL GROOVE WELDS TO BE FULL PENETRATION, UNLESS OTHERWISE NOTED.

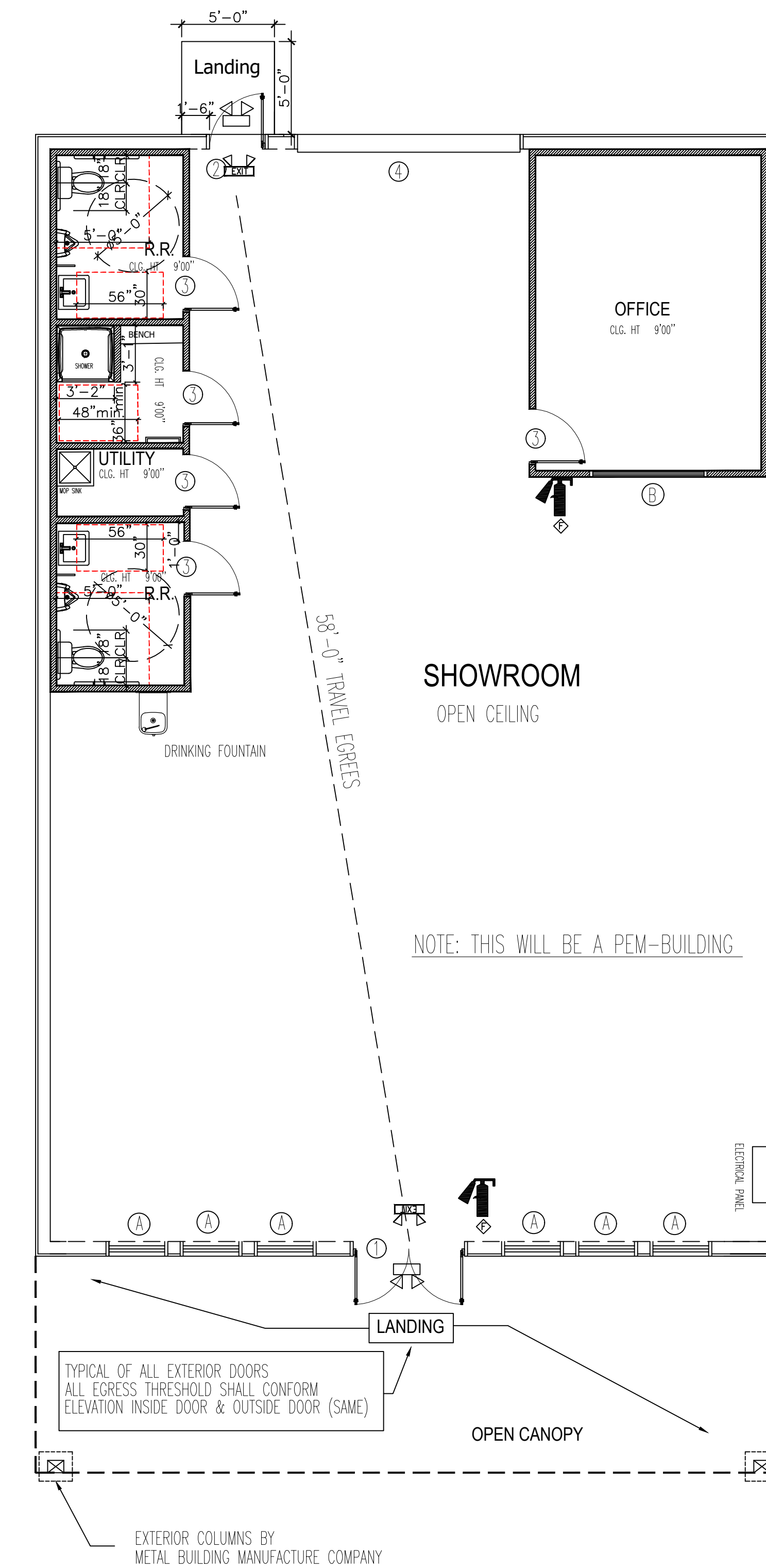
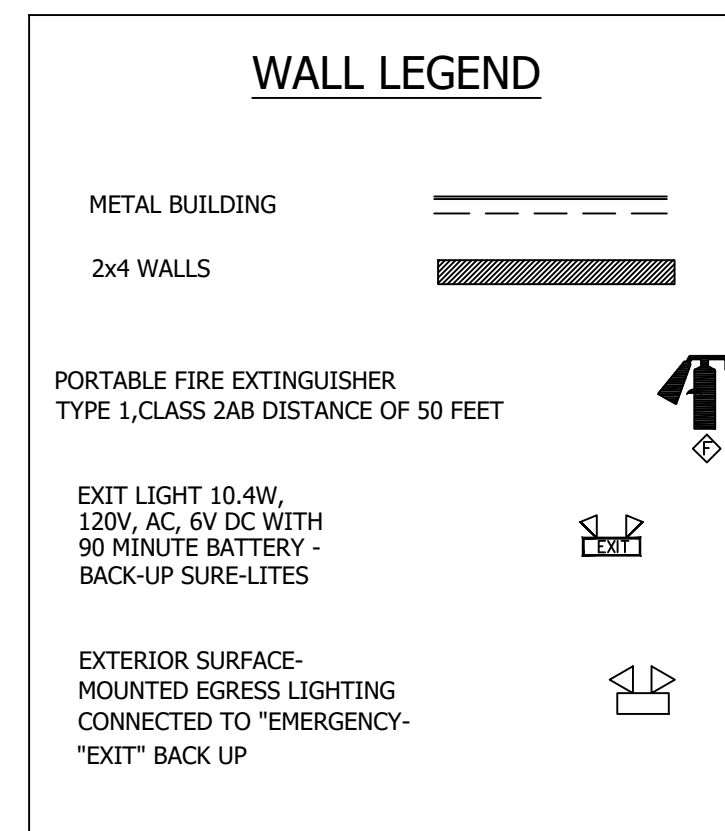
ALL FULL PENETRATION WELDS AT MOMENT CONNECTION SHALL BE TESTED AND CERTIFIED BY AN INDEPENDENT TESTING LAB USING NON DESTRUCTIVE TESTING METHOD. FOR SHOP WELDS, CERTIFICATION SHALL BE SUBMITTED PRIOR TO SHIPPING TO JOB SITE. FOR FIELD WELDS, CERTIFICATION SHALL BE SUBMITTED PRIOR TO COVERING CONNECTIONS WITH ARCHITECTURAL FINISHES.

ALL SHOP CONNECTIONS ARE TO BE WELDED AND ALL FIELD CONNECTIONS ARE TO BE BOLTED EXCEPT WHERE OTHERWISE NOTED.

SPLICING OF STRUCTURAL STEEL MEMBERS WHERE NOT DETAILED IS PROHIBITED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

AREA SUMMARY		
SHOWROOM	2,215 SQ.FT	
OFFICE	166 SQ.FT	
RESTROOM	52 SQ.FT	
CANOPY	469 SQ.FT	
TOTAL AREA:	2,903 SQ.FT	
OCCUPANCY SUMMARY		
SHOWROOM	2,215 / 150	15
OFFICE	52 / 150	1
TOTAL OCC.		16

OCCUPANCY TYPE:		B
CONSTRUCTION TYPE:	V-B	
OCCUPANCY LOAD		16
AREA:		2,903 SQ.FT



INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY

OCCUPANCY = S-1

INTERIOR EXIST STAIRWAYS = B
 INTERIOR EXIT RAMPS AND EXIT PASSAGEWAYS = B

CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS = B

ROOMS AND ENCLOSED SPACES = C

CLASS II AS PER TABLE 804.4.2 - OF 2021 IBC

FINISH SCHEDULE

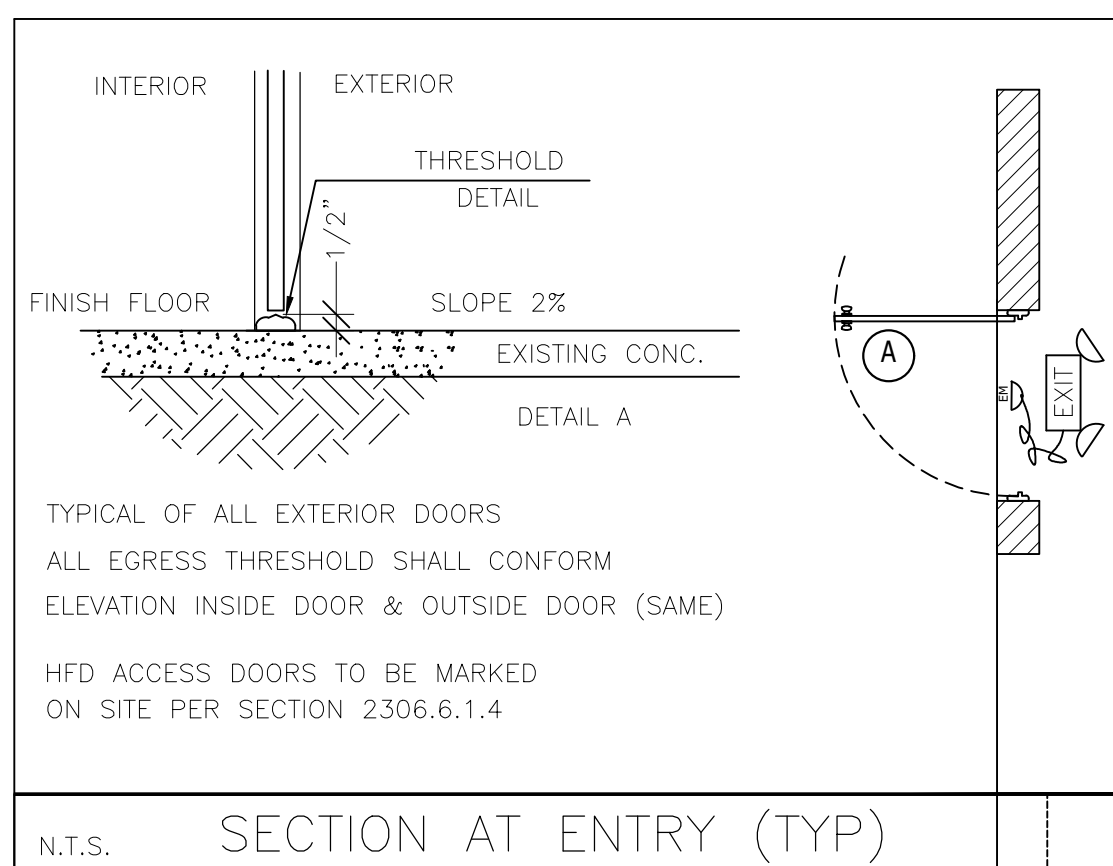
ROOM NAME	FLOOR	BASE	WALLS	CEILING	NOTES
SHOW ROOM	●	●	●	●	THE 6" VINYL BASE IS AN ADHERED FINISH IN FRONT OF THE 0'-0" TO 4'-0" FRP - TO COMPLY WITH THE REQUIREMENT OF SECTION 1210.1, 2021 IBC.
OFFICE	●	●	●	●	IN OTHER THAN DWELLING UNITS TOILET AND BATHING ROOM FLOORS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 6 INCHES AS PER SECTION 1210.1, 2021 IBC.
RESTROOMS	●	●	●	●	TOILET PARTITIONS TO BE SMOOTH NON-ABSORBENT, EASILY CLEANABLE & LIGHT BEIGE CREAM COLOR. NOTE: CHECK SPECIFICATIONS SHEETS FOR MORE DETAILS. (ATTACH TO EACH SET)
UTILITY	●	●	●	●	GROUT COLOR TO BE LIGHT COLOR

DOOR SCHEDULE

NO.	SIZE	TYPE	FRAME	THRESHOLD	LOCATION	HARDWARE	SHGC	U-FACTOR	QTY.
1	6'-0" x 7'-0"	ALUMINUM WITH TEMPERED GLASS	ALUMINUM			ENTRY LOCKSET W/ PANIC HARDWARE	N/A	N/A	1
2	3'-0" x 7'-0"	HOLLOW METAL	STEEL			ENTRY LOCKSET W/ PANIC HARDWARE	N/A	N/A	1
3	3'-0" x 7'-0"	HOLLOW CORE PANEL DOOR	STEEL			INTERIOR LOCKSET	N/A	N/A	2
4	12'-0" x 12'-0"	STEEL	STEEL		ROLL UP	INTERIOR LOCKSET	N/A	N/A	1

WINDOW SCHEDULE

NO.	PLACE	SIZE	FINISH	FRAME	GLASS	REMARKS	QTY.
Ⓐ	FRONT ELEVATION	3'-0" x 3'-10"	ALUM	ALUM	TEMP GLASS	TRANSPARENT UNCOVERED	6
Ⓑ	OFFICE	6'-0" x 3'-0"	ALUM	ALUM	TEMP GLASS	TRANSPARENT UNCOVERED	1



TYPICAL OF ALL EXTERIOR DOORS
 ALL EGRESS THRESHOLD SHALL CONFORM ELEVATION INSIDE DOOR & OUTSIDE DOOR (SAME)

HFD ACCESS DOORS TO BE MARKED ON SITE PER SECTION 2306.6.1.4

N.T.S. SECTION AT ENTRY (TYP)

FOR CONSTRUCTION



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DRAWN BY:
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Diego Lamacchia
10/APRIL/2023

Diego Lamacchia, PE, PMP
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CROSSWAY AUTO CENTER

1860 N. EARL RUDDER FRWY. BLD. 1
BRYANT TX 77808

PROJECT NAME:

PLOT DATE:

04/18/2023

SCALE:

3/16" = 1'-0"

JOB No:

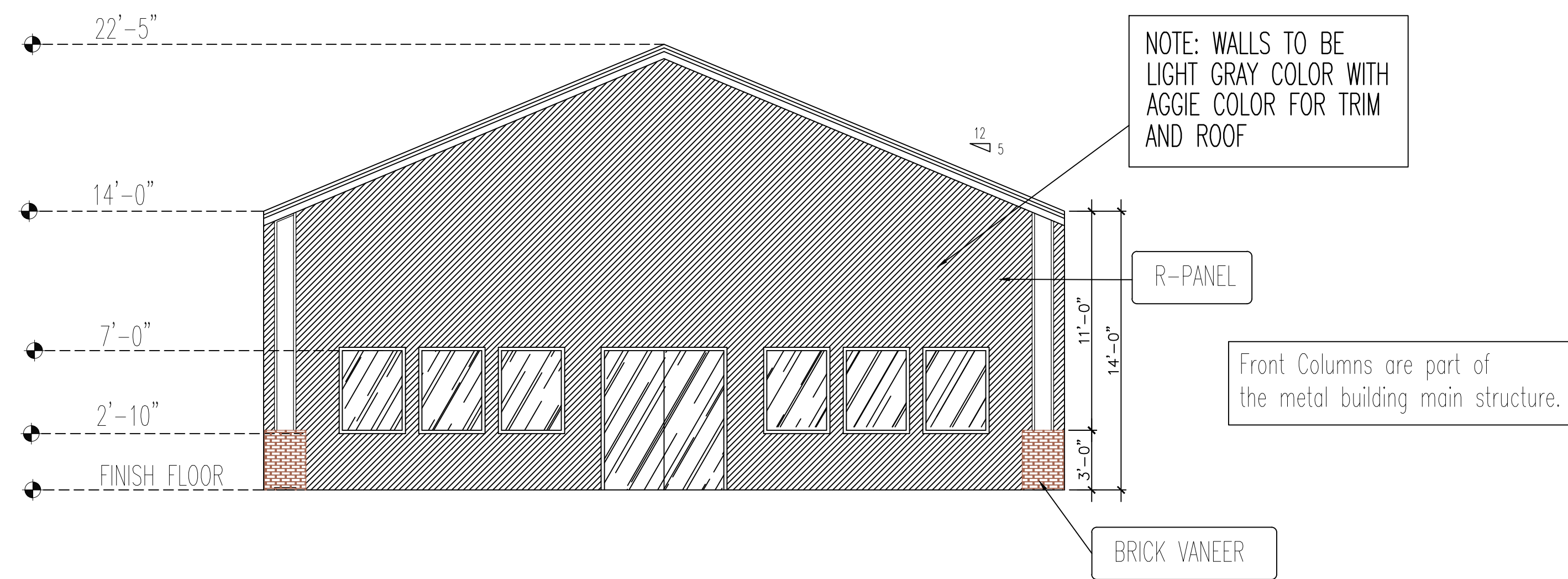
057-22

SHEET NAME:

FLOOR PLAN

SHEET #:

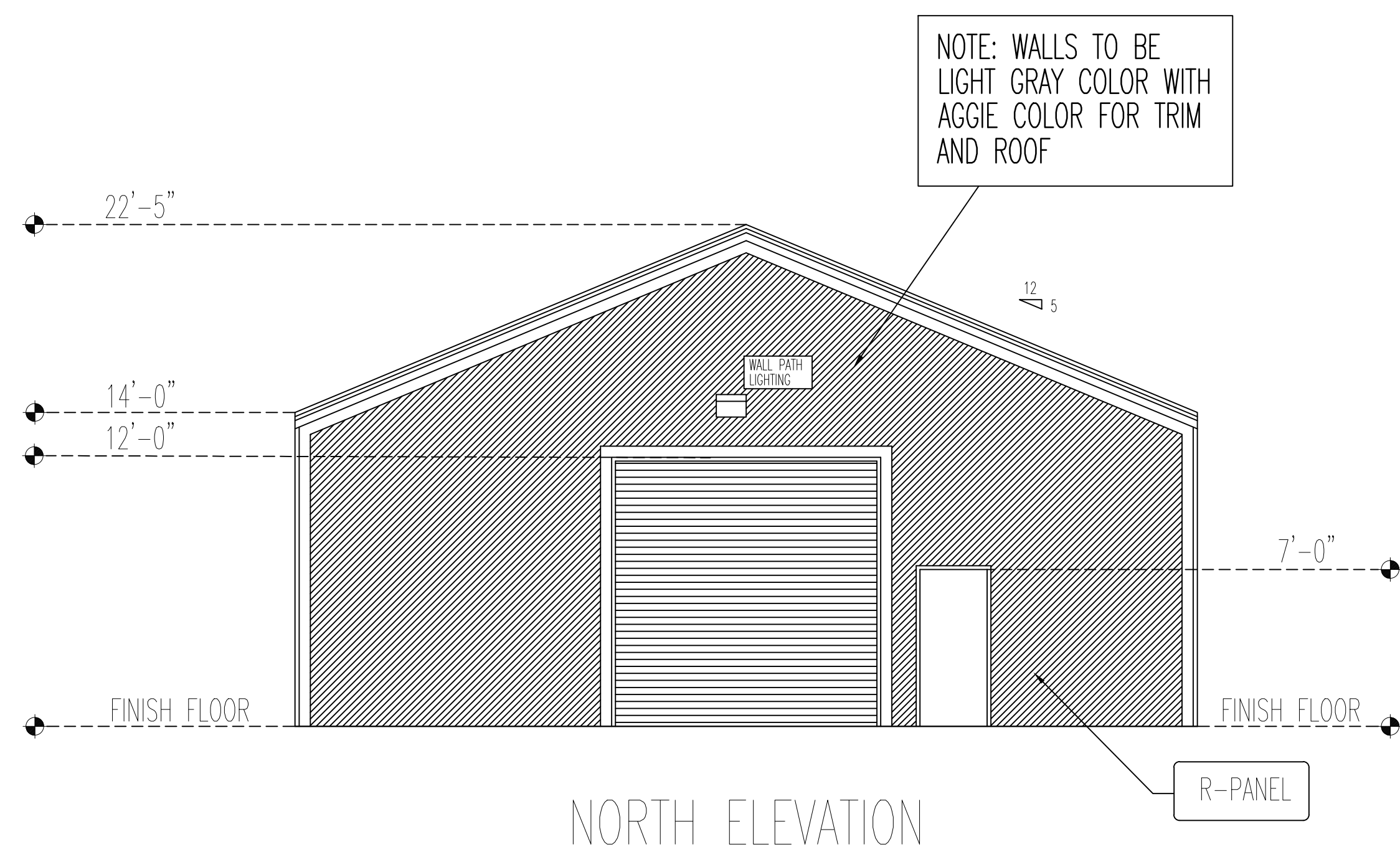
A-1



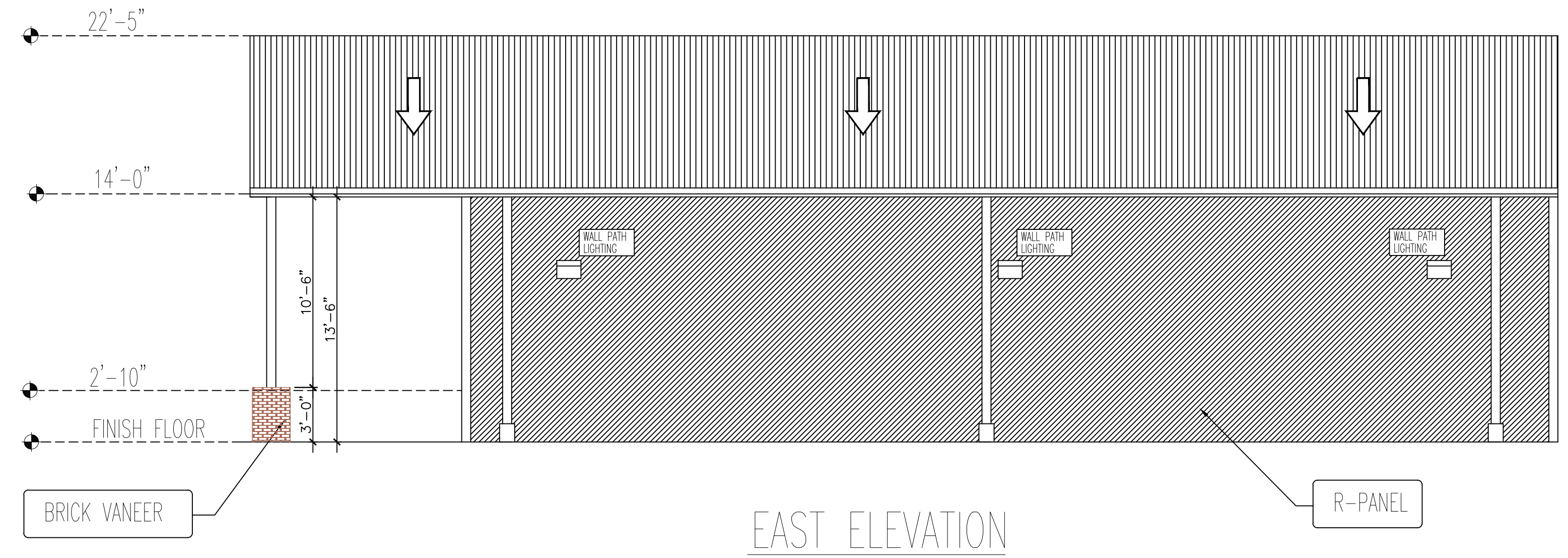
SOUTH ELEVATION

GENERAL ROOF NOTES:

1. CONTRACTOR SHALL INSURE THAT ALL WORK IS COORDINATED SO THAT NO WORK IS PERFORMED ON THE ROOF OUT OF SEQUENCE THAT MAY DAMAGE THE ROOF OR VOID THE WARRANTY.
2. ROOFING CONTRACTOR SHALL PROVIDE ALL REQUIRED METAL CAPS, DRIP EDGE, FLASHING TRIM AND FINISHES AS NEEDED TO PROVIDE AND WEATHER TIGHT INSTALLATION FROM THE TOP OF THE PARAPET TO THE BOTTOM OF THE DRIP EDGE AND SHALL BE SOLELY RESPONSIBLE FOR THE WEATHER PROOF PERFORMANCE OF THE ROOF.
3. NO EQUIPMENT ON THE ROOF.

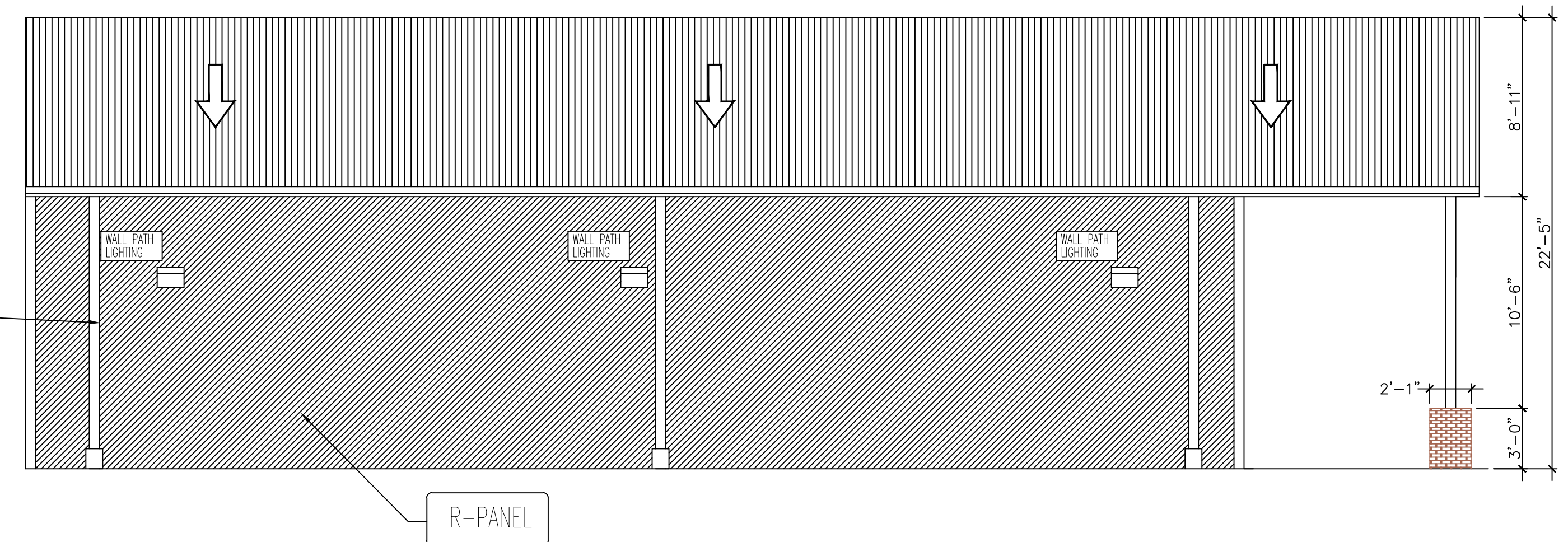


NORTH ELEVATION



EAST ELEVATION

NOTE: WALLS TO BE LIGHT GRAY COLOR WITH AGGIE COLOR FOR TRIM AND ROOF



WEST ELEVATION

FOR CONSTRUCTION



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SEAL:



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10/APRIL/2023

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PROJECT NAME: **CROSSWAY AUTO CENTER**

1860 N. EARL RUDDER FRWY. BLD 1
BRYANT TX 77808

PLOT DATE: **04/18/2023**

SCALE: **3/16" = 1'-0"**

JOB No: **057-22**

SHEET NAME:

ELEVATION PLAN

SHEET #:

A-3